



Town of Rome
Nekoosa, WI 54457
www.romewi.com

**AGENDA
TOWN OF ROME PLAN COMMISSION PUBLIC HEARING
AND REGULAR MEETING**

TUESDAY, APRIL 9, 2024

4:00 PM

**ROME MUNICIPAL BUILDING
1156 Alpine Drive
Nekoosa, WI 54457**

1. Call to Order
2. Roll Call
3. Certify Posting of Meeting
4. Approve the Agenda
5. Citizen Comments – During the Citizen Comment period of the agenda the Plan Commission welcomes comments from any town resident, not a member of the Commission, on any item not on the agenda. Please know that pursuant to State law the Commission cannot engage in conversation with you but may ask questions. The Commission may refer the item to staff, a standing committee or a future Plan Commission agenda for discussion and action. Each person wishing to speak will have up to 3 minutes to speak. Speakers are asked to submit a card to the Chair providing their name, address and topic for discussion
 - a. The Commission will also take comment from the public on agenda items as called by the Chair, but not during Citizen Comment. Please note that once the Commission begins discussion on an agenda item no further comment will be allowed from the public on that issue

NO ACTION CONTEMPLATED EXCEPT POSSIBLE REFERRAL TO FUTURE AGENDA:

6. Information Updates, Recent Correspondence, Current Events, Announcements
7. Open Public Hearing
 - a. Consideration of a Site Plan/Plan of Operation for Kent Schneider (KMC Tucks LLC) d/b/a Cal's Corner, to construct a seating area/addition at 382 State Road 13, also described as Lot 76 of Canterbury Addition to Lake Sherwood located in SW ¼, SE ¼, Section 17, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-01951-0000
 - b. Consideration of a proposed Zoning Map amendment from R-4 (Rural Residence District) to R-2 (One- and Two-Family and Manufactured Dwelling Residence District) relating to a .5-acre portion of land, being part of parcel 030-00747-0010, also described as Lot 1, CSM 1729, located in the SW1/4, SW1/4 Section 12, Town 20N, Range 06E, Town of Rome, Adams County, WI
 - c. Consideration of proposed amendment to Chapter 360 (Zoning), Article III, General Regulations, 360-10 Accessory uses and structures, regarding canopies
 - d. Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 967 Mansfield Ct., owned by John and Christie Hotz, also described as Lot 2 of Chatham Addition to Lake Camelot, located in the SE1/4,

SW1/4, Section 15, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-05137-0000

- e. Consideration of a Preliminary Plat for Sedge Village South, to be located on a 29.16-acre parcel owned by Sand Valley South, LLC, described as follows: Lot 26, 27, and 28, Sedge Village, Document No. 572728, and Part of the NW ¼ and the NE ¼ of the SW ¼ and the NW ¼ of the SE ¼, all in Section 26, Town 20N, Range 5E, Town of Rome, Adams County, WI

8. Close Public Hearing

DISCUSS AND POSSIBLE ACTION ON THE FOLLOWING ITEMS:

- 9. Discussion and possible action - Meeting minutes from Tuesday, March 12, 2024
- 10. Discussion and possible action – Heartland Custom Homes, Inc. Review of landscaping, lighting, parking and sign plan for the property address of 1144 CTH D, also described as Lot 1 CSM 6905, located in the SW1/4 of the NE1/4, Section 08, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-00637-0020
- 11. Discussion and possible recommendation to the Town Board – Consideration of Sign Permit to locate a 4.3' x 6.2' off premise sign at intersection of Alpine Drive and Geneva Trail for Rome Town Center
- 12. Discussion and possible recommendation to the Town Board - Consideration of a Site Plan/Plan of Operation for Kent Schneider (KMC Tucks LLC) d/b/a Cal's Corner, to construct a seating area/addition at 382 State Road 13, also described as Lot 76 of Canterbury Addition to Lake Sherwood located in SW ¼, SE ¼, Section 17, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-01951-0000
- 13. Discussion and possible recommendation to the Town Board - Consideration of a proposed Zoning Map amendment from R-4 (Rural Residence District) to R-2 (One- and Two-Family and Manufactured Dwelling Residence District) relating to a .5-acre portion of land, being part of parcel 030-00747-0010, also described as Lot 1, CSM 1729, located in the SW1/4, SW1/4 Section 12, Town 20N, Range 06E, Town of Rome, Adams County, WI
- 14. Discussion and possible recommendation to the Town Board - Consideration of proposed amendment to Chapter 360 (Zoning), Article III, General Regulations, 360-10 Accessory uses and structures, regarding canopies
- 15. Discussion and possible action - Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 967 Mansfield Ct., owned by John and Christie Hotz, also described as Lot 2 of Chatham Addition to Lake Camelot, located in the SE1/4
- 16. Discussion and possible recommendation to the Town Board - Consideration of a Preliminary Plat for Sedge Village South, to be located on a 29.16-acre parcel owned by Sedge Village, LLC, described as follows: Lot 26, 27, and 28, Sedge Village, Document No. 572728, and Part of the NW ¼ and the NE ¼ of the SW ¼ and the NW ¼ of the SE ¼, all in Section 26, Town 20N, Range 5E, Town of Rome, Adams County, WI
- 17. Discussion and possible recommendation to the Town Board - Consideration of a site plan/plan of operation for Barnum Bay Beach and Marina, LLC for the property located on Archer Ln., also

described as Lot 1 CSM 4670, located in Government Lot 2 of Section 28, Town 20N, Range 05E, Town of Rome, Adams County, WI with a parcel number of 030-00408-0015

DATES AND ITEMS FOR FUTURE AGENDA/MEETINGS

18. Next agenda items:

19. Next meeting date and time: May 14, 2024 at 4:00 p.m.

ADJOURNMENT

"Speak Your Peace" Commitment – A reminder that the Town Board Members have adopted the Nine Tools of Civility which commits the Board Members and Public to be mindful of how we treat each other at meetings.

Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin.

The Plan Commission may take action on any item on the agenda. It is possible that the members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the Plan Commission.



Town of Rome
Nekoosa, WI 54457
www.romewi.com

**MINUTES
TOWN OF ROME PLAN COMMISSION PUBLIC HEARING
AND REGULAR MEETING**

TUESDAY, MARCH 12, 2024

4:00 PM

**ROME MUNICIPAL BUILDING
1156 Alpine Drive
Nekoosa, WI 54457**

1. Call to Order

Chairman Mike Baker called the meeting to order at 4:00 p.m.

2. Roll Call

Plan Commissioners present: Jerry Wiessinger, Thomas Gabriel, Paul Janczak, Chairman Mike Baker, Lori Djumadi and Bill Kappel.

Plan Commissioners excused: Diana Duelge.

Also present: Support Specialist Taylor Owczynsky and Town Attorney Nick Flanagan.

Will Blakey present for Agenda items 7a & 10.

Applicants Mark Anderson & Dan Lilja present for Agenda items 7b & 11.

Joe Eichsteadt present for Agenda items 7c&d and 12 & 13.

Applicant Dave Mehring present for Agenda items 7e & 14.

Applicants Mitch and Stacey Peterson present for Agenda items 7f & 15.

3. Certify Posting of Meeting

Support Specialist Taylor Owczynsky certified that Monday, March 1, 2024 the agenda for the Town of Rome Plan Commission meeting for Tuesday, March 12, 2024 was posted at the following locations:

Rome Town Hall at 12:55 p.m.

Kwik Trip LLC at 5:35 p.m.

Nekoosa Port Edwards State Bank at 5:40 p.m.

Emailed to the Wisconsin Rapids Daily Tribune on 3-4-2024

Legal Notice published in the Wisconsin Rapids Tribune on: 2/28/2024 & 3/5/2024

4. Approve the Agenda

Motion by Djumadi/Kappel to take items 14 and 15, which are short-term rental discussions, and move that up to a place after number 9. With changes noted, motion carried.

5. Citizen Comments – During the Citizen Comment period of the agenda the Plan Commission welcomes comments from any town resident, not a member of the Commission, on any item not on the agenda. Please know that pursuant to State law the Commission cannot engage in conversation with you but may ask questions. The Commission may refer the item to staff, a standing committee or a future Plan Commission agenda for discussion and action. Each person wishing to speak will have up to 3 minutes to speak. Speakers are asked to submit a card to the Chair providing their name, address and topic for discussion

- a. The Commission will also take comment from the public on agenda items as called by the Chair, but not during Citizen Comment. Please note that once the Commission begins discussion on an agenda item no further comment will be allowed from the public on that issue

No citizen comments received.

NO ACTION CONTEMPLATED EXCEPT POSSIBLE REFERRAL TO FUTURE AGENDA:

6. Information Updates, Recent Correspondence, Current Events, Announcements

Commissioner Djumadi comments on initial "roll-out" of Zoning Hub and new extended zoning hours.

7. Open Public Hearing

There were 26 members of the public present, including those applicants noted above.

- a. Consideration of a revised site plan/plan of operation for Heartland Custom Homes, Inc. to adjust building orientation, and occupy tenant at the property address of 1144 CTH D, also described as Lot 1 CSM 6905, located in the SW1/4 of the NE1/4, Section 08, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-00637-0020

Will Blakey present to comment on the Site Plan/ Plan of Operation revision. Orientation of buildings has changed due to acquiring more land. Original Site Plan said was subject to approved Landscape & signage plan being presented to Plan Commission as well as any proposed tenant coming back before the Plan Commission for approval prior to Occupancy.

Applicant explains proposed locations of septic systems (POWTS).

Discussion on building materials and applicant indicates no changes from original materials.

Note of sign-off from Fire Chief for emergency vehicle access.

Discussion of landscape plan.

- b. Consideration of a site plan/plan of operation for Barnum Bay Beach and Marina, LLC for the property located on Archer Ln., also described as Lot 1 CSM 4670, located in Government Lot 2 of Section 28, Town 20N, Range 05E, Town of Rome, Adams County, WI with a parcel number of 030-00408-0015

Applicants Mark Anderson & Dan Lilja present to comment regarding the campground map, septic and stormwater. Applicant indicated map does not yet show electrical or septic because they were told those can't decide until they know where the roads and the pads are going to be. Applicant comments regarding drainage runoff for the DNR and that the power company and the state has told the applicant they will figure out where to put drainage swales and drainage retention area once the map is done and they can walk the site once the road is in, to make an assessment.

Commissioner Wiessinger points out that the map was supposed to have dimensions, the campsites are not denoted as to the size, and there is no place for the septic system. Also, failure to show trees in setback where commercial property is next to residential property on map. Suggests staggering for screening of trees to create barrier.

Commissioner Gabriel questions if campsites will be full hookups. Applicant Mark Anderson states the campground will fit all requests of the Plan Commission/Conditions.

Discussion that there will be a dump station and it will be connected to a septic. Applicants ask for leeway, and understanding that things are subject to change, since septic, in their mind, is subject to change based on where road and pads are going to fit and are allowed to be. Commissioners suggest perk tests.

Discussion of DNR and the water runoff; with property being owned by Wisconsin Power Company. Applicant indicated the State needs to know where everything's going to be and they will make their final decisions.

Commissioner Djumadi questions who Lot 1 is owned by. It was determined that the Condominium Association owns Lot 1.

Commissioner Djumadi comments regarding knowing the traffic flow and the outdoor lighting. However, some things still need to be completed in the Site Plan.

She states they would want them to go with exactly what it is for B1 Design Standards in the zoning code. Refuse containers are on map but not on application she notes. Other missing items on Site Plan application noted as well.

Jerry Iverson comments regarding concerns against proposed Campground.

Scott Bordeau comments regarding concerns against proposed Campground.

- c. Consideration of the issuance of a Conditional Use Permit for the following purpose: to allow a storage rental building on the property address of 620 State HWY 13, owned by Gillette Holdings, LLC, located in the SW1/4, NE1/4, Section 32, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel

number of 030-01035-0000

Joe Eichsteadt present to comment on the Conditional Use Permit on behalf of Gillette Holdings/Tri-Lakes Storage. States there is existing building and plans to install 4 buildings within the proximity of the existing 5 buildings that are already on the site. Buildings A & B are in the planning stages and they are evaluating when they will be pursued. Buildings C & D to be pursued this summer. Vegetative screening and buffer space discussed. Lighting to be for security purposes. Materials to be consistent with current buildings already constructed. Wetlands also commented on and noted that they are preserved.

- d. Consideration of a site plan/plan of operation for Gillette Holdings, LLC for the property address of 620 State HWY 13, located in the SW1/4, NE1/4, Section 32, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-01035-0000

Read in...No additional discussion or comments.

- e. Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 620 17th Drive, owned by David Mehrling d/b/a Mehrling Vacation Properties, also described as Lot 80 of Westwind Shores, located in the NW1/4, NW1/4, Section 34, Town 20N, Range 05E, Town of Rome, Adams County, WI with a parcel number of 030-01826-0879

Property owner Dave Mehrling present to comment on the Conditional Use Permit. Applicant states there has been no fire door installed at this time and that the garage will not have any type of motor vehicle parking. He states there would be a bolt and a rail on the side of the garage that can't be opened. He states there is no intent to turn into living space at this time. Commissioner Gabriel questions location of property manager being within 25 miles.

- f. Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 342 Kings Herald Ct., owned by Stacey and Mitch Petersen, also described as Lot 22 of Kings Herald Addition to Lake Sherwood, located in the SW1/4, NE1/4, Section 16, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-02103-0000

Property owners Mitch and Stacey Peterson present to comment regarding Conditional Use Permit. Applicant questions the occupancy; explanation that occupancy is based on total livable space and total square footage. Chairman questions if the landing has been taken care of/up to building code design. Applicant states there is a cement slab installed at the base of the steps. Discussion regarding the letter from CSO (Officer Aldrich) and citation given. Citation has been satisfied.

8. Close Public Hearing

Motion by Wiessinger/Djumadi to close the public hearing. Motion carried.

DISCUSS AND POSSIBLE ACTION ON THE FOLLOWING ITEMS:

9. Discussion and possible action - Meeting minutes from Tuesday, February 13, 2024 and Wednesday, February 21, 2024.

Motion by Wiessinger/Janczak to approve the meeting minutes from February 13th and February 21st. Motion carried. Motion amended to change of language in the minutes to indicate that the "steep boat launch belongs to the Wisconsin River Power Company" Motion amendment and second accepted.

10. Discussion and possible recommendation to the Town Board - Consideration of a revised site plan/plan of operation for Heartland Custom Homes, Inc. to adjust building orientation, and occupy tenant at the property address of 1144 CTH D, also described as Lot 1 CSM 6905, located in the SW1/4 of the NE1/4, Section 08, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-00637-0020

Motion by Wiessinger/Djumadi(for discussion) to recommend to the Town Board consideration of the revised Site Plan and Plan of Operation for Heartland Custom Homes Inc. and accept the Findings of Fact.

Discussion as follows:

Commissioner Djumadi states that she believes there should be additional Findings of Fact. Commissioner Gabriel has concerns of parking lot layout and landscaping.

Attorney Flanagan reads the following to summarize the discussion of the proposed conditions:

- (1) Any proposed tenant must come back for plan commission approval including the design plan of building interior and plan of operation.
- (2) Refuse containers shall be provided for any additional tenant.
- (3) Exterior lighting, landscaping plan and parking go before the Town Board.
- (4) Signage plan come back to the Plan Commission for approval at the sign permit.

Wiessinger/Djumadi to approve the Findings of Fact as well as the conditions that were stated by Town Attorney Flanagan. Motion carried.

11. Discussion and possible recommendation to the Town Board - Consideration of a site plan/plan of operation for Barnum Bay Beach and Marina, LLC for the property located on Archer Ln., also described as Lot 1 CSM 4670, located in Government Lot 2 of Section 28, Town 20N, Range 05E, Town of Rome, Adams County, WI with a parcel number of 030-00408-0015

Discussion to deny the Site Plan for the following reasons and bring back for additional review once conditions are completed:

List of corrections needed:

Correct all documents and maps as needed to show all required information from the Conditional Use Permit Condition(s) and/or correct inaccuracies

Re-submit a fully completed Site Plan & Plan of Operation Checklist document with updated information.

Campground Map should depict all items that are shown on the map in a key (i.e. landscaping key)

Landscaping List should be provided for all types of plantings

Campground Map should depict trees in setback areas (including Lot 1 area as screening)

Landscaping plan should meet species requirement in Design Plan requirements

Plans (Floor plan & architectural rendering) for office/shower house is needed and needs to comply with B-1 (height, width) requirements (i.e. 24'x24') and Design Plan building standards

Septic location and size must be depicted on map

Sanitary Sewer – All campsites should be full hookups

Update stormwater map depicting all relevant locations of stormwater areas and include approvals from Adams County & DNR

Provide updated exterior lighting plan and parking plan on Include plans for handling overflow parking & Both plans must meet the Design Plan requirements in B1 District

Sign plan/permit application should be submitted

Motion by Gabriel/Wiessinger to deny the Site Plan and Plan of Operation and when the conditions are completed that have been mentioned are corrected, that they come back to the Planning Commission for an additional review. Roll call vote. Kappel: Yes. Djumadi: Yes. Baker: Yes. Janczak: Yes. Gabriel: Yes. Wiessinger: Yes. Motion carries.

12. Discussion and possible action - Consideration of the issuance of a Conditional Use Permit for the following purpose: to allow a storage rental building on the property address of 620 State HWY 13, owned by Gillette Holdings, LLC, located in the SW1/4, NE1/4, Section 32, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-01035-0000

Motion by Wiessinger/Djumadi to approve the Conditional Use Permit with the Findings of Fact. Discussion on length of Terms. Motion carried.

13. Discussion and possible recommendation to the Town Board - Consideration of a site plan/plan of operation for Gillette Holdings, LLC for the property address of 620 State HWY 13, located in the SW1/4, NE1/4, Section 32, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-01035-0000

Motion by Gabriel/Wiessinger to recommend to the Town Board approval of the Site Plan and Plan of Operation for 620 State Highway 13 the accepting the Findings of Fact with the conditions that buildings C and D be approved, and that their buildings A and B have to be constructed within the next two years or they have to come back to this Planning Commission for an additional Site Plan and Plan of Operation approval. Motion is approved/carried with Commissioner Djumadi dissenting.

14. Discussion and possible action - Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 620 17th Drive, owned by David Mehrling d/b/a Mehrling Vacation Properties, also described as Lot 80 of Westwind Shores, located in the NW1/4, NW1/4, Section 34, Town 20N, Range 05E, Town of Rome, Adams County, WI with a parcel number of 030-01826-0879

Motion by Janczak/Wiessinger to approve the Conditional Use Permit with the following conditions: That it is not used for any type of motor vehicle parking or storage in the garage, and that if the fire door is replaced, it gets re-inspected. That if it's ever considered for human habitation, they come back to the Planning Commission and that Mr. Mehrling or his brother have to be in a 25-mile radius when the property is rented. Motion carried.

15. Discussion and possible action - Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 342 Kings Herald Ct., owned by Stacey and Mitch Petersen, also described as Lot 22 of Kings Herald Addition to Lake Sherwood, located in the SW1/4, NE1/4, Section 16, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-02103-0000

Motion by Baker/Kappel to approve the Conditional Use Permit for 342 Kings Herald Court accepting the findings of Fact and that this would be only good, the conditions permit, only valid until June 1st or it would be made indefinitely if the applicant provides proof that the landing mentioned by the building inspector has been corrected. Commissioner Gabriel asks that the 2 letters that were sent by concerned citizens of neighboring properties be added to the file. No further discussion. Motion carries, with Commissioner Gabriel dissenting.

DATES AND ITEMS FOR FUTURE AGENDA/MEETINGS

16. Next agenda items:

**Barnum Beach and Marina LLC*

**1 Short-Term rental noted*

**Commissioner Wiessinger suggests to establish policy for support documentation being turned in 48 or 72 hours before the Plan Commission Meeting or it cannot be reviewed. (emails, letters, petitions, etc.) Discussion on when items should be accepted in order for review by Plan Commission.*

**Zoning Map Amendment of R-2 to an R-4*

**Sand Valley Preliminary Plat*

17. Next meeting date and time: April 9, 2024 at 4:00 p.m.

ADJOURNMENT

Chairman Baker adjourned the meeting at 6:20 p.m.

"Speak Your Peace" Commitment – A reminder that the Town Board Members have adopted the Nine Tools of Civility which commits the Board Members and Public to be mindful of how we treat each other at meetings.

Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin.

The Plan Commission may take action on any item on the agenda. It is possible that the members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the Plan Commission.

Respectfully submitted,

Taylor Owczynsky

Taylor Owczynsky

Zoning Administrative Assistant Support Specialist



Town of Rome
Nekoosa, WI 54457
www.romewi.com

Plan Commission Zoning and Building Department Staff Report

Item 10

Heartland Custom Homes, Inc. received approval for a revision to their Site Plan/Plan of Operation for the property located at 1144 CTH D on March 21, 2024. As part of the recommendation from the Plan Commission in consideration of the request for revised Site Plan/Plan of Operation, Applicant was to provide the Town Board with an exterior lighting plan, landscaping plan and parking plan approval for consideration and approval. As a condition to its approval on March 21, 2024, the Town Board revised that condition to require that the exterior lighting plan, landscaping plan, parking plan and signage plan all be reviewed and approved by the Plan Commission. An updated Site Plan map with the aforementioned supplemental plans (parking, lighting, landscaping) are provided in your packet for review. For reference, the revised findings of fact with conditions are also included in your packet.

Item 11

At its meeting on March 7, 2024, the Town of Rome Community Development Authority approved procurement and placement of an off-premise directional sign for Rome Town Center. The Town would like to place the sign at the intersection of Alpine Drive and Geneva Trail. This area falls within the Gateway Overlay District and is a placement within Road Right-of-Way. With limited exceptions, the Town's sign ordinance provisions hold for time limitations for signs placed in the road right-of-way (§ 320-20). That said, there is a special exception allowed for certain circumstances, including signs for entities of federal, state and Town government, subject to review and approval of the Town Board, upon recommendation from the Plan Commission (§ 360-124). A copy of the Sign Permit Application and sign proposal (including design, dimensions, and placement location) are included in your packet for review.

Item 7a & 12

Applicant Kent Schneider (KMC Tucks, LLC) d/b/a Cal's Corner. requests approval for a Site Plan/Plan of Operation for the property located at 382 State Road 13. Applicant purchased the former Friar Tuck's establishment in 2022. Because it was a continuation of existing development with no expansion, a new Site Plan/Plan of Operation was not required at that time. Applicant is now proposing an expansion to the business to construct a seating area/addition to the west of the building. Note, due to the setback measurement area off the platted corner for the STH 13 vision triangle at the intersection of W. Queens Way & STH 13, a variance to reduce the side yard setback was required to construct the proposed addition. The Board of Zoning Appeals approved the area variance at its meeting on March 14, 2024. Included in your packet materials is a Site Plan and Plan of Operation Application, Checklist, and associated renderings/maps. Letters were sent to 10 property owners within 200' of the affected property.

Item 7b & 13

Applicants Brian Shaurette and Tanya Johnson are requesting an amendment in zoning from R-4 (Rural Residence District) to R-2 (One- and Two-Family and Manufactured Dwelling Residence District) for a portion of parcel 030-00747-0010. Currently, parcel 030-00747-0010 is 23.29-acres in size and zoned R-4. The parcel has an approximately .5-acre section located in the SW1/4 of the SW1/4 of Section 12, with the remainder of the parcel being within the NW1/4 of the NW1/4 of Section 13. Applicants own parcel 030-01520-0010, currently 1-acre in size and located directly to the North of the subject parcel in Section 12. Applicants are in the process of purchasing the .5-acre portion of 030-00747-0010 and wish to combine it with their 1-acre lot to create a 1.5-acre parcel. A proposed CSM is attached in your packet showing the proposed land

division/combination. Since the creation of a split-zoning condition is not permissible, there needs to be a rezoning of the .5-acre parcel to create a common zoning with the 1-acre parcel's R-2 zoning. Note, the Comprehensive Plan's Future Land Use Map (included in your packet) for the 23.29-acre parcel has the portion in Section 12 under consideration noted as Residential, with the remaining portion in Section 13 as Forestry. Therefore, rezoning this .5-acre portion would be consistent with the Comprehensive Plan's Future Land Use Map. Letters were sent to 7 property owners within 200' of the affected property. Also included in your packet is consent from the current property owner of 030-00747-0010 to rezone the .5-acre portion of the property.

Item 7c & 14

Recently, concerns have been raised related to event tent/canopy usage by local businesses and applicability to Town of Rome Zoning Code regulations- specifically under Section 360-10(D). In February, 2023, the Town of Rome updated Section 360-10(D) after consideration and a recommendation from the Joint Plan Commission/CDA Subcommittee as it related to accessory structures in residential districts. At that time, the focus was to clarify certain accessory structures commonly seen in residential districts (i.e. gazebos, pergolas), which were not specifically noted as permitted prior to construction of a principal structure. Additionally, the Subcommittee had reviewed carport regulations (the Canopy definition at that time included "ports"). Included in your packet are relevant minutes from those meetings. At that time, with a focus on residential districts, section 360-10(D)(3)(b) was removed, with the intention of its applicability to residential districts and permanent canopy/tents as well as carports. The section which was removed read:

"Use in other areas. In all areas other than those listed in Subsection D(3)(a) above [*Lake District and Recorded Subdivisions*], canopies that meet the criteria of an accessory use pursuant to this section may be erected upon issuance of a permit. Canopies with roofs constructed of a rigid material require the issuance of a building permit, and the roof must meet the snow load requirements of the Wisconsin Uniform Dwelling Code. Canopies with roofs constructed of a nonrigid material require the issuance of a zoning permit. The location of any canopy permitted under this subsection must comply with all setback requirements for structures in the applicable zoning district."

Since that time, no enforcement action had been taken on Business (B-1) properties who had erected event tent/canopy structures on a more permanent basis, because the Zoning Administrator at that time understood those regulations not to apply to business use, provided placement was consistent with setbacks and applicable regulations such as noise and event gathering requirements were met. Since that time, as complaints were submitted recently, the Town no longer had references to allowed permanent canopy/tents, and therefore applied the temporary requirements under 360-10(D)(1). Since the February 2023 amendment to the aforementioned Zoning Code provisions clearly were intended to address residential districts, the recommended consideration is to build the removed verbiage back into the ordinance, and specify its applicability to Commercial use in the B-1 Districts. Proposed language is included in your packet. Please note that after consultation with the Building Inspector, it was recommended to require canopies with a floor area greater than 120 sq. ft. obtain a building permit. This recommendation comes from the International Building Code (IBC) Section 105.2 which lists work exempt from a permit as accessory structures not greater than 120 sq. ft. This would be an alternative to referencing "rigid material" roof construction requiring issuance of a building permit. Additionally, recommended language would reference applicability to Town Code 191-13 (safe practices with large crowd assemblies). Finally, for clarity, it is recommended to update Zoning Ordinance Definitions to reference Tent applicability to Canopy definitions, which already broadly describes event tents.

Item 7d & 15

John and Christie Hotz have submitted a Short-Term Rental (STR) license application and Conditional Use Permit for the property located at 967 Mansfield Ct., requesting use for the 2023/2024 season that ends on June 30, 2024. Letters were sent to 9 property owners within 200' of the affected property. The Plan Commission places conditions on CUPs issued for STRs that will set maximum occupancy and maximum number of vehicles allowed on the property based on the standards found in Town Code, Chapter 234-61. Staff recommend a maximum occupancy of 5 and maximum vehicles of 3 to be parked on hard surfaces, not on the

lawn/grass, at the property. The applicant has completed all license requirements including a property manager within 25 miles on record with the Town.

Item 7e & 16

Applicant Sedge Village, LLC has submitted a Preliminary Plat for Sedge Village South Subdivision. The proposed 29.16-acre subdivision is located partially (Lots 26, 27 and 28) within Sedge Village Subdivision, as well as a portion of adjacent quarter-quarter sections of Section 26. Eleven lots are proposed in the Plat, with lot sizes ranging from 1.04 ac. to 7.59 ac. Private roadways serve the proposed Subdivision, extending from Luna Lane (*previously platted as part of Sedge Village Subdivision and noted as under construction*). Included in your packet materials is the proposed Preliminary Plat with accompanying Preliminary Plat Application, Property limits map with noted current property owners, NRCS Soil Report, Site Plans, Utility and Stormwater Management Summary, Declaration of Covenants, Conditions, Restrictions and Easements, and Legal Description. Staff reviewed the initial Preliminary Plat submission based on the standards found in Town Code Chapter 326-14 (Subdivision Procedure) and provided feedback to developer. One noted item for additional updating is the need for cul-de-sac at the termini of each road off Luna Ln., to allow for adequate turn-around of emergency vehicles, consistent with Town Ordinance requirements for all road construction in Ch. 320. Updates to the remaining items from the preliminary review have been made and reflected in your packet materials. Letters were sent to 9 property owners within 200' of the affected property.

Item 17

Applicant Barnum Bay Beach and Marina, LLC has submitted a Site Plan/Plan of Operation for operation of a Campground at the 6.38-acre parcel located on Archer Ln. (030-00408-0015). At the February 21, 2024 meeting, the Plan Commission approved Applicant's Conditional Use Permit, with 14 conditions. At the March 12, 2024 Plan Commission meeting, the Site Plan/Plan of Operation was tabled pending additional needed updates. A summary list of those updates is included in your packet. Town Code Article XXVI sets forth requirements for a Site Plan and Plan of Operation for new business development, and associated development and design standards. Additionally, under Town Code Sec. 247-4, a Campground License must be obtained from the Town, and Campground Permit issued from Wisconsin Department of Safety and Professional Services (Wis. Stat. 97.67). Included in your packet materials is a proposed updated Campground Map, Site Plan and Plan of Operation Checklist, Sign Permit, Driveway Permit and Septic Map.

☉ = light location

Parking Lot Plan

400'

RETENTION AREA
BEFORE ROCK
AND NATIVE GRASS
AND STEWARS

DUMPSTER AREA

loading/unloading
area

Building A

Building B

PATIO AREA

Curb Ramp

Curb Ramp

RETENTION AREA

RETENTION AREA

EXISTING TREES

PICNIC AREA

EXISTING TREES

Easement

200' TO CTY RD D

PROPOSED SIGN
LOCATION

Landscaped
Area

PARKING
59 STALLS
4 HCP

NATIVE GRASSES
AND STEWARS

HWY
13

CENTER LINE

NOTICE:
THESE PLANS ARE DESIGNED
EXCLUSIVELY FOR THE USE OF
HEARTLAND CUSTOM HOMES. ANY
REPRODUCTION OR OTHER USE IS
STRICTLY PROHIBITED. WITHOUT
THE EXPRESS WRITTEN CONSENT
OF HEARTLAND CUSTOM HOMES
INC.

REV. N	DRAWN BY	DATE	REMARKS
0.	XXX		

HEARTLAND
CUSTOM HOMES

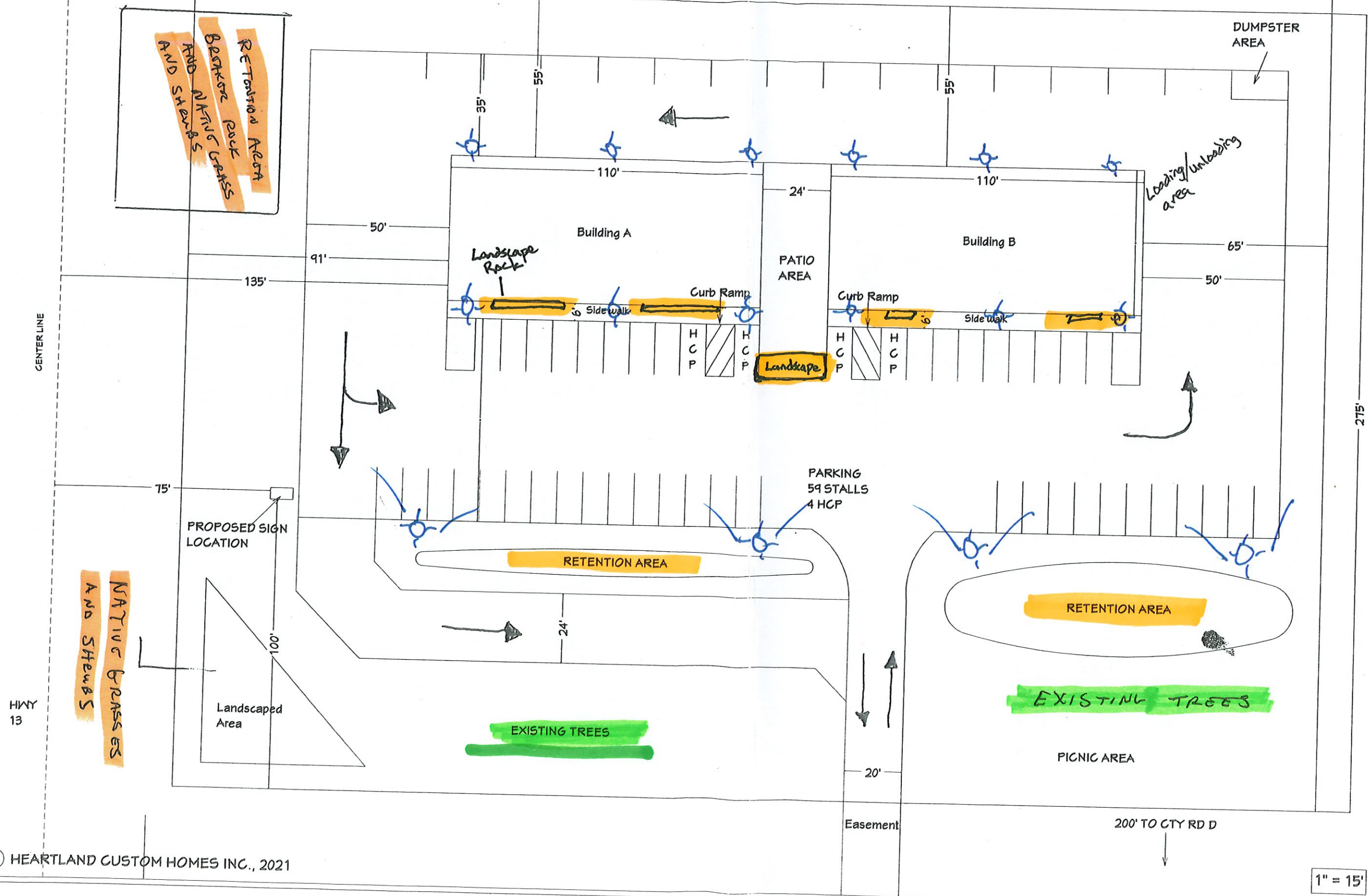
MODEL:	Site Plan	PRINT DATE:	2/26/2024
FOR:	HCH Rome	ORDER NO.	XXXXXX

SHEET N
O.
A-1

1" = 15'

☉ = light location

Landscape Plan



NOTICE:
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OF HEARTLAND CUSTOM HOMES
INC.

REV. N	DRAWN BY	DATE	REMARKS
0.	XXX		

HEARTLAND
CUSTOM HOMES

MODEL:	Site Plan	PRINT DATE:	2/26/2024
FOR:	HCH Rome	ORDER NO.	XXXXXX

SHEET N
O.
A-1

☼ = light location

Lighting Plan

400'

RETENTION AREA
BEFORE ROCK
AND NATIVE GRASSES
AND STEUBS

DUMPSTER
AREA

loading/unloading
area

Building A

Building B

PATIO
AREA

Curb Ramp

Curb Ramp

Side walk

Side walk

H
C
P

H
C
P

H
C
P

H
C
P

PARKING
59 STALLS
4 HCP

RETENTION AREA

RETENTION AREA

EXISTING TREES

PICNIC AREA

EXISTING TREES

Easement

200' TO CTY RD D

PROPOSED SIGN
LOCATION

Landscaped
Area

HWY
13

NATIVE GRASSES
AND STEUBS

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OF HEARTLAND CUSTOM HOMES
INC.

REMARKS

DATE

BY

REV. N

HEARTLAND
CUSTOM HOMES

PRINT DATE:

2/26/2024

Site Plan

MODEL:

FOR:

HCH Rome

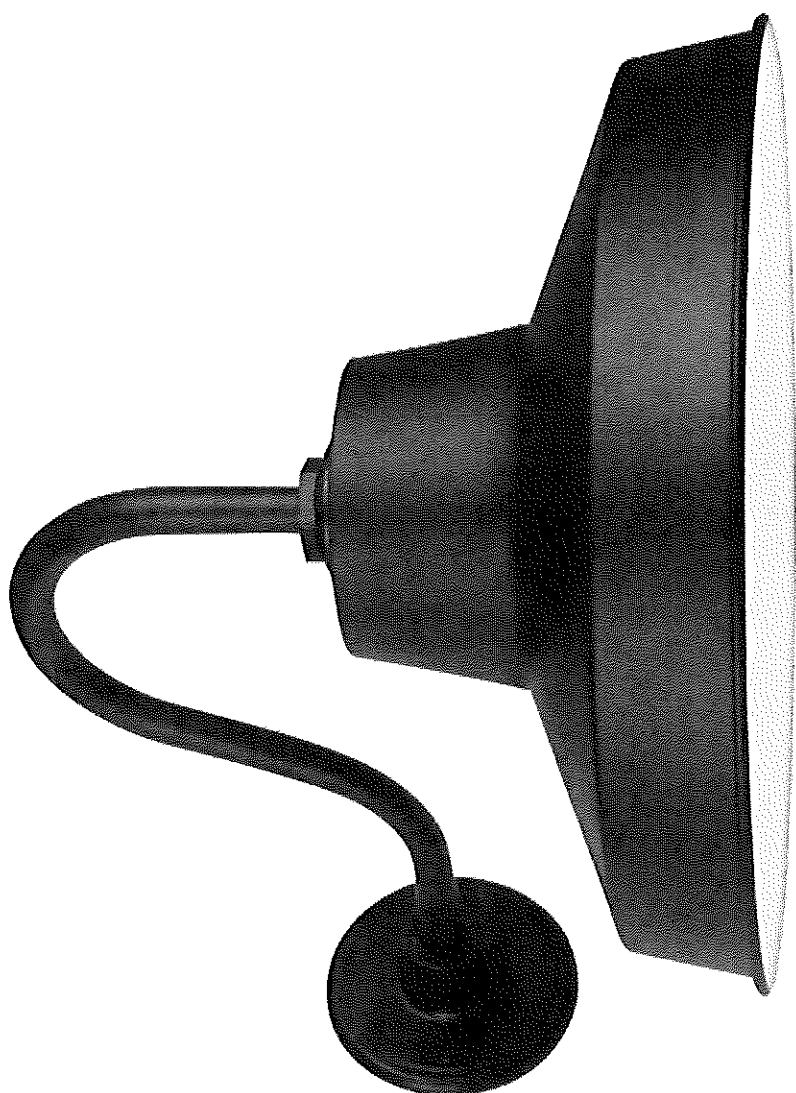
ORDER NO.

XXXXXX

SHEET N
O.

A-1

1" = 15'

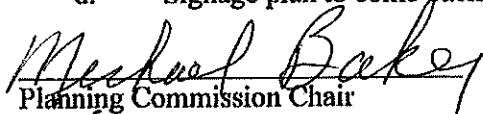


FINDINGS OF FACT:

- 1) A full and complete application was filed by Heartland Custom Homes, Inc., and received February 26, 2024 (herein referred to as "Application") seeking approval of a Revised Site Plan & Plan of Operation Review for the property located at 1144 CTH D, also described as Lot 1 CSM 6905, located in the SW1/4 of the NE1/4, Section 08, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-00637-0020.
- 2) The Original Approved Site Plan & Plan of Operation is to allow for a multi-tenant commercial building on the property.
- 3) The Revised Site Plan & Plan of Operation proposes a change in building orientation.
- 4) The property is zoned B-1 Business District, as defined in Chapter 360 of the Town Code.
- 5) The Town of Rome Planning Commission duly set this matter upon the agenda of a public meeting and considered the above-described application with the public hearing a matter of record of the Planning Commission meeting of March 12, 2024.
- 6) At the public hearing on the Application held by the Town of Rome Plan Commission on March 12, 2024, evidence and testimony was presented by the Applicant, and all interested persons were allowed an opportunity to speak, a full and complete record of which will be detailed in the minutes of the Plan Commission.
- 7) At the conclusion of the public hearing, after consideration and discussion of the application, public comments, and the report received by staff, the Planning Commission, upon a motion duly seconded, approved the request for the Revised Site Plan & Plan of Operation, and the following findings were found by the Plan Commission:
 - a. The Revised Site Plan & Plan of Operation conforms with the standards of the applicable district in which it is located.
 - b. The establishment, maintenance or operation of the proposed multi-tenant commercial building and use will not be detrimental to or endanger the public health, safety or general welfare of the occupants of surrounding lands.

The Town of Rome Plan Commission hereby recommends approval of the Site Plan & Plan of Operation request submitted by Heartland Custom Homes, Inc., to allow for the construction of a multi-tenant commercial building at parcel# 030-00637-0020. The following additional conditions were placed on the approval: (if applicable):

- a. Proposed tenants must come before the Plan Commission for approval, including the building interior plans and plan of operation.
- b. Refuse containers shall be provided for any additional tenants.
- c. Exterior lighting, landscaping, and parking plans shall come before the Plan Commission.
- d. Signage plan to come back to Plan Commission for approval at the time of sign permit.


Planning Commission Chair

04-02-24
Date


Planning Commission Secretary

3-27-2024
Date

Signature of Owner/Applicant: 

Date: 3/29/24

Signature of Owner/Applicant: _____

Date: _____

Note: If Owner is other than Applicant and is unable to sign, please attach written authorization from Owner allowing Applicant to sign on their behalf

**OFFICE USE ONLY:**Date: 3-19-24
Parcel #: Alpine Dr. ROWPERMIT #: 524-4
Zoning District: B1-Gateway**Zoning Department**1156 Alpine Drive Phone: 715 325-8019
Nekoosa, WI 54457 Fax: 715 325-8035
Email: zoning@romewi.com
www.romewi.com**SIGN PERMIT APPLICATION****\$100.00 OFF SITE APPLICATION FEE****\$50.00 ON SITE APPLICATION FEE**PLEASE PRINT CLEARLY & FILL OUT COMPLETELY**Owner of Sign:**Name Town of Rome
Mailing Address 1156 Alpine Drive
City/State/Zip Nekoosa, WI 54457
Home Phone 715-325-8017 Business Phone _____
Tax Parcel No. Alpine Dr. ROW
Location of Sign North side of Alpine Drive, across from Geneva Trail in road right of way.TYPE OF SIGN: ☐ On Premise ☒ Off Premise

DESIGN OF SIGN: Attach a drawing to scale showing the size and height of the sign. Said drawing shall also contain a brief description of the type of materials that are to be used for the sign, color scheme, lettering or graphic style and lighting.

SITE PLAN

Attach drawing showing the following:

Location of sign on property

Distance to center line of road 24 ft. to closest postDistance to closest side of lot line 40 ft. to the eastDistance to driveway at right-of-way line N/A ft.
Farthest post 1 ft off R/W

BY SIGNING BELOW I GRANT CONSENT FOR DEPARTMENT STAFF TO ENTER PREMISES.

Signature of Owner or Agent: _____ Cell # 715-325-8023Printed Name: Town of Rome E-mail _____Address: 1156 Alpine Drive**OFFICE USE ONLY:**\$ _____
Paid: \$ Exempt
(check # or cash)

Comments / Conditions: _____

Date: _____
By: _____Approved by: _____
Denied by: _____Date: _____
Date: _____



8101 International Dr, Wausau, WI 54401 | 715-842-0402 | www.graphichouseinc.com

PROPOSAL

Proposal #: 30905

Proposal Date: 03/19/24
Customer #: 4195
Page: 1 of 5

SOLD TO:	JOB LOCATION:
TOWN OF ROME 1156 ALPINE DRIVE NEKOOSA WI 54457-9160	TOWN OF ROME 1156 ALPINE DRIVE NEKOOSA WI 54457-9160 REQUESTED BY: Brad

Graphic House, Inc. (HEREINAFTER CALLED THE "COMPANY") HEREBY PROPOSES TO FURNISH ALL THE MATERIALS AND PERFORM ALL THE LABOR NECESSARY FOR THE COMPLETION OF:

QTY	DESCRIPTION	UNIT PRICE	TOTAL PRICE
1	QUOTE #24901-D2X Double Face Non-lit Pyon Sign, 52" x 74" custom formed aluminum cabinet with aluminum face and imaged vinyl graphics, double stacked 6" aluminum custom woodgrain painted supports, direct set into standard soil conditions at 108" overall height, manufactured and installed.	\$12,430.00	\$12,430.00

TOTAL PROPOSAL AMOUNT: \$12,430.00

TERMS: 75.0% DOWN, NET 30 DAYS UPON COMPLETION, 4% CONVENIENCE FEE ON CREDIT CARD PAYMENTS.
(INTEREST OF 1.5% PER MONTH WILL BE ADDED TO PAST DUE ACCOUNTS)

THIS PRICE DOES NOT INCLUDE ELECTRICAL HOOKUP, PERMITS, ENGINEERING OR TAX UNLESS SPECIFICALLY STATED.

WHO OWNS PROPERTY THE SIGN WILL BE INSTALLED ON? _____

PART OF THIS PROPOSAL REQUIRES THE CUSTOMER TO FILL OUT A CREDIT APPLICATION (SEE ATTACHED).

ALL SIGNS ARE WIRED AT 120 VOLTS UNLESS THE CLIENT IDENTIFIES OTHERWISE IN WRITING.

ALL WARRANTIES WILL BE NULL AND VOID IF FINAL INVOICE IS NOT PAID IN FULL WITHIN 45 DAYS FROM INVOICE DATE.

CHECKS RETURNED FOR NON-SUFFICIENT FUNDS WILL BE SUBJECT TO AN ADDITIONAL \$50.00 FEE.

ELECTRICAL TO SIGNAGE IS NOT PART OF THIS QUOTE. FINAL ELECTRICAL HOOK UP IS CLIENTS RESPONSIBILITY. ALL SIGNS WIRED TO UL SPECIFICATIONS, UNLESS OTHERWISE NOTED.

DELIVERY OF SIGNAGE IS BASED ON 8 TO 10 WEEKS FROM CLIENT AUTHORIZATION AND PERMIT APPROVAL. **ADDITIONAL CHARGES WILL APPLY FOR DATE SPECIFIC AND EXPIDITED DELIVERY. ELECTRONICS WILL REQUIRE ADDITIONAL TIME FOR DELIVERY.**

PERMIT TO BE OBTAINED BY: CLIENT GRAPHIC HOUSE, INC.

IF PERMIT IS TO BE OBTAINED BY GRAPHIC HOUSE, INC., ADDITIONAL FEES WILL APPLY.

COMPANY INITIALS _____

CUSTOMER INITIALS _____



8101 International Dr, Wausau, WI 54401 | 715-842-0402 | www.graphichouseinc.com

PROPOSAL

Proposal #: 30905

Proposal Date: 03/19/24
Customer #: 4195
Page: 2 of 5

NOTE: This proposal may be withdrawn by Graphic House, Inc. if not accepted within 30 days.

TERMS AND CONDITIONS

Client is responsible for flagging of property owner's utilities, such as, but not limited to: sprinkling/watering systems, parking lot lighting, landscaping lighting, storm/sanitary sewers, or any other utility that the customer may have buried, etc.

All in-ground bases are engineered for standard soil conditions. Non-standard conditions, such as: sandy soil, clay soil, rocky terrain, water, etc. which require additional concrete, labor, forming, etc. will be at an additional time and materials charge.

Client is responsible for providing access to the JOB site. THERE HAS BEEN NO ALLOWANCE FOR REPAIRS OR BUILDING OF ACCESS TO PERFORM THE DUTIES DESCRIBED IN THE BID DOCUMENTS. ANY ADDITIONAL TIME OR MATERIALS NEEDED TO ACCESS THE JOB SITE OR CREATE A WORK AREA AT THE JOB SITE SO WE ARE ABLE TO PERFORM OUR SCOPE OF WORK, IS THE SOLE RESPONSIBILITY OF THE OWNER. WE ALSO HAVE NO RESPONSIBILITY TO ANY REPAIRS TO JOB SITE OR ACCESS TO JOB SITE BECAUSE OF DAMAGE WE MAY HAVE INCURRED COMPLETING OUR SCOPE OF WORK.

Client has identified the location in which the signage is to be installed. Client is responsible to have existing signage meet all state and local codes, and additional work to bring existing signage to code will be billed at time and materials. The client has the sole responsibility for the structural integrity of all existing structures to support the signage. Graphic House, Inc. is not responsible for any damage that may occur to sign installation areas such as (landscape, blacktop, etc. or otherwise). Graphic House, Inc. will not be responsible in any way for penetrations through roof membranes or wall materials or for any leakage or water damage resulting from any penetrations.

Graphic House, Inc. hereby warrants the sign display against defective workmanship in construction and assembly for one (1) year from the date of the invoice. Faux Corten has a warranty of two (2) years for finish deterioration. No other warranties will apply. All labor for repair of electronic message centers or time and temperature units are covered under warranty for one (1) year from date of installation. All components/parts for electronic message centers or time and temperature units are covered under warranty as outlined by manufacturer. Graphic House, Inc. does not warranty flags. No other warranties or guarantees are expressed or implied, either written or verbal. All warranties will be null and void if anyone other than Graphic House, Inc. services or maintains the signage specified on this proposal, or if the final invoice for this proposal is not paid in full within 45 days of the final invoice date.

Our warranty, and warranties by stand-alone subassemblies manufactured by other companies, are based solely on the client's responsibility to properly maintain, service and clean these sign components at no longer than each six-month interval. This warranty does not apply to vandalism, misuse, acts of God, and war.

Any deviation from prints or altered foundations will weaken the structure to the point that it may fail. This structure is engineered to hold only the signage specified. Do not add additional signage to the structure.

Any changes in the plans or specifications from the date this proposal and prints are approved and authorized will result in an administrative fee of \$400 per change plus the cost of the change. Any changes or extras may extend the time to complete the manufacturing and/or services specified.

Any alteration or deviation from the above specifications involving extra costs will be executed and will become an extra charge over and above the estimate, together with the terms and conditions set forth in the attached addendum which is incorporated herein in its entirety. All agreements contingent upon strikes, accidents or delays beyond our control.

COMPANY INITIALS _____

CUSTOMER INITIALS _____

GRAPHIC HOUSE
CUSTOM SIGNS
NATIONAL SIGN FIRM

0161 International Dr
Pleasant, NJ 08407

115-842-4402
www.graphic-house.com

CLIENT

ROME, TOWN OF
1155 ALPINE DR
NEKOOSA, WI

SALES REP
CHRIS P

DATE
11-25-2022

SALES AUTH

QUOTE NUMBER
24507-J

ORDERED
XX

FOR NUMBER
XXX

ESTIMATE
3-15-2014

NOT LIT PER SIGN

A FORMED ALUM. CABINET & FACES

B PAINTED CABINET w/ DOUBLE PRINTED VINYL w/ GLOSS LAMINATE

C SUPPORTS w/ CUSTOM PAINTED WOODGRAIN TEXTURE (EXACT COLOR & GRAIN MAY VARY)

P1 - Black

P2 - Custom Painted Woodgrain Texture

White

DP1 - PMS 567c

DP2 - PMS 7739c

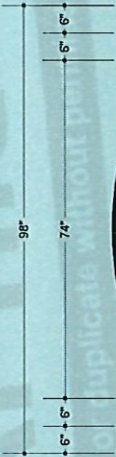
DP3 - PMS 2256c

DP4 - PMS 4288c

DP5 - PMS 310c to PMS 3262c Gradient

DP6 - Black

(1) DIFF NON-LIT SIGN



OPPOSITE SIDE



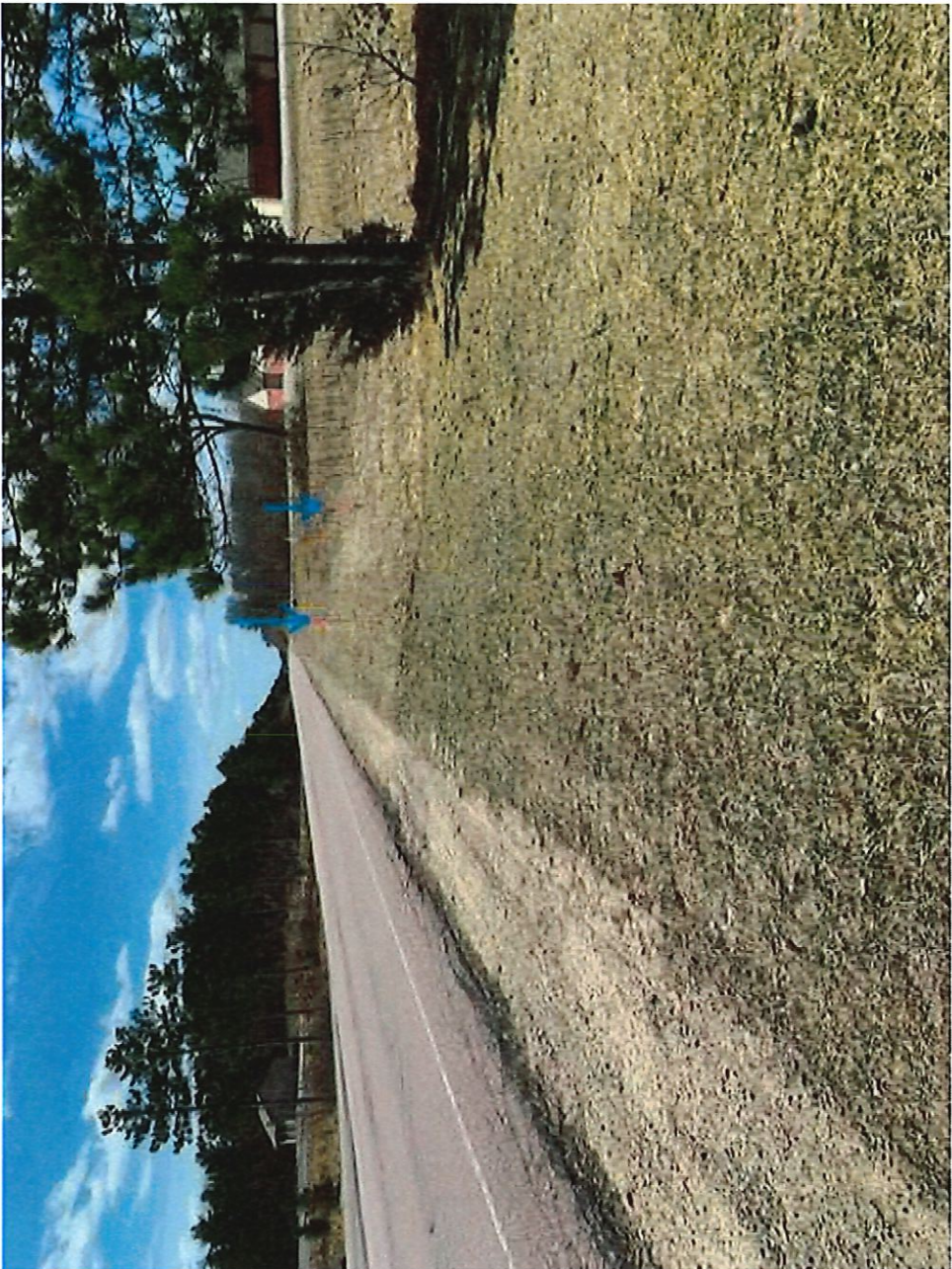
CLIENT HAS IDENTIFIED THE LOCATION IN WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

ALL RIGHTS RESERVED

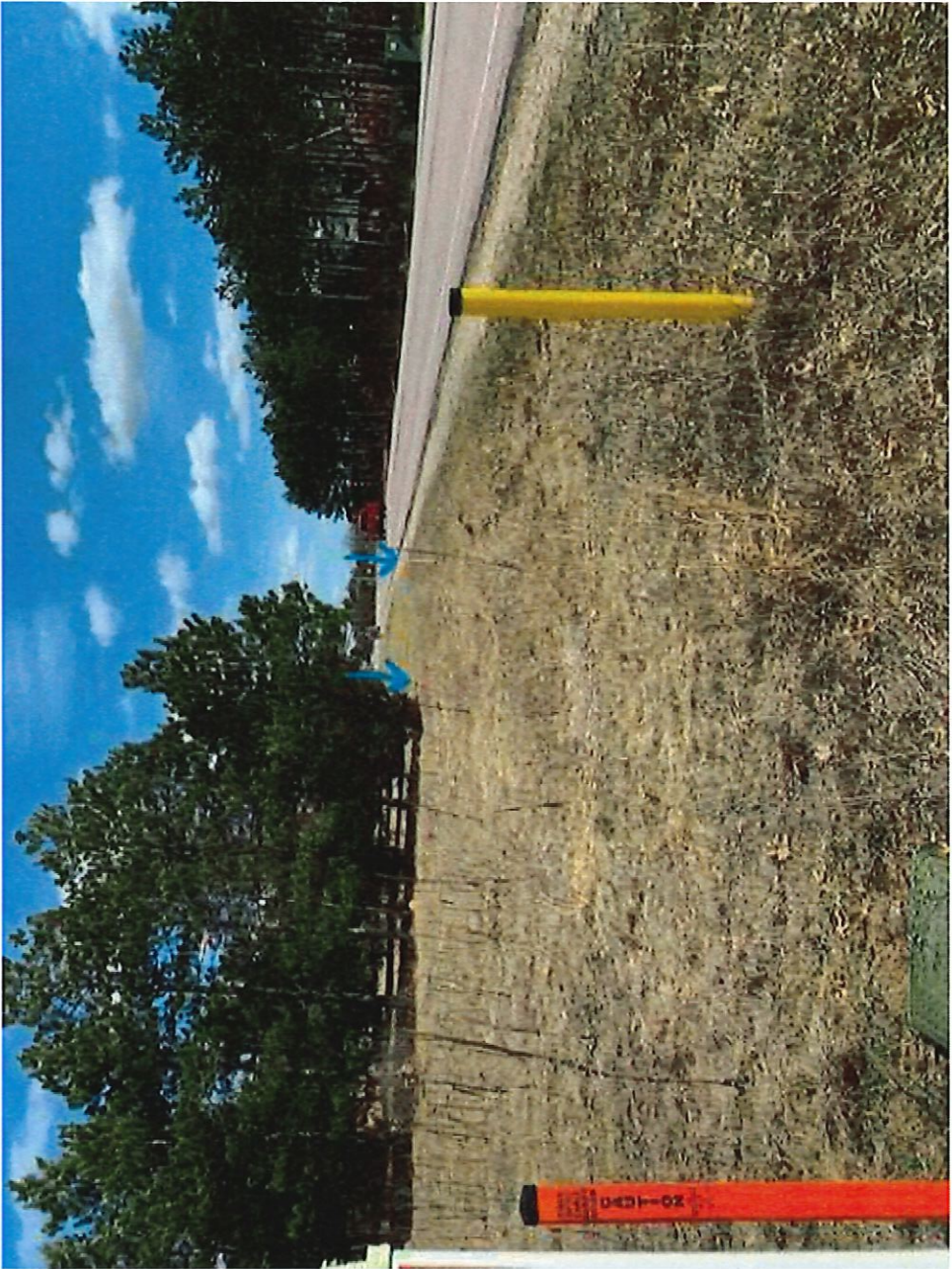
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RELAX 2016

PLEASE REVIEW SPECS & PROOF CAREFULLY - CHECK FOR TYPOGRAPHICAL ERRORS & OMISSIONS, LAYOUT ACCURACY, ETC. CUSTOMER HAS SOLE RESPONSIBILITY TO CORRECT ANY ERRORS. DISCLAIMER: THE TONAL COLORS SHOWN IN THIS RENDERING PROVIDE CONCEPTUAL COLORS & GRAPHICS LOCATIONS ONLY. THE COLORS MAY NOT MATCH THE ACTUAL AUTOMOTIVE PLANTS, PAINTS OR VINYL COLORS THAT WILL BE USED ON OR IN THE SIGNS SHOWN. ALL SIZES, SHAPES, COLORS, ETC. ARE CONCEPTUAL & MAY VARY FROM ACTUAL PRODUCT. A MANUFACTURER'S LABEL WILL BE ADDED TO YOUR SIGN AT THE DISCRETION OF GRAPHIC HOUSE, INC.







8101 International Dr
Wausau, WI 54401

715-942-9402
www.graphichouseinc.com

CLIENT

ROME, TOWN OF
1156 ALPINE DR
NEKOOSA, WI

SALES REP CHRIS P	DATE 11-29-2022	QUOTE NUMBER 24901-D	JOB NUMBER XXX
SALES AUTH:		DESIGNER NN	REVISION 3-15-2024-C

SALES DRAWING: ROME, TOWN OF - ROME TOWN CENTER - (19810) SMALL SECONDARY PYLON
TownOfRome-24901-D-24-1.jpg

NON-LIT PYLON SIGN

A FORMED ALUM. CABINET & FACES

B PAINTED CABINET w/ DOUBLE PRINTED VINYL w/ GLOSS LAMINATE

C SUPPORTS w/ CUSTOM PAINTED WOODGRAIN TEXTURE (EXACT COLOR & GRAIN MAY VARY)

P1 - Black

P2 - Custom Painted Woodgrain Texture

White

DP1 - PMS 567c

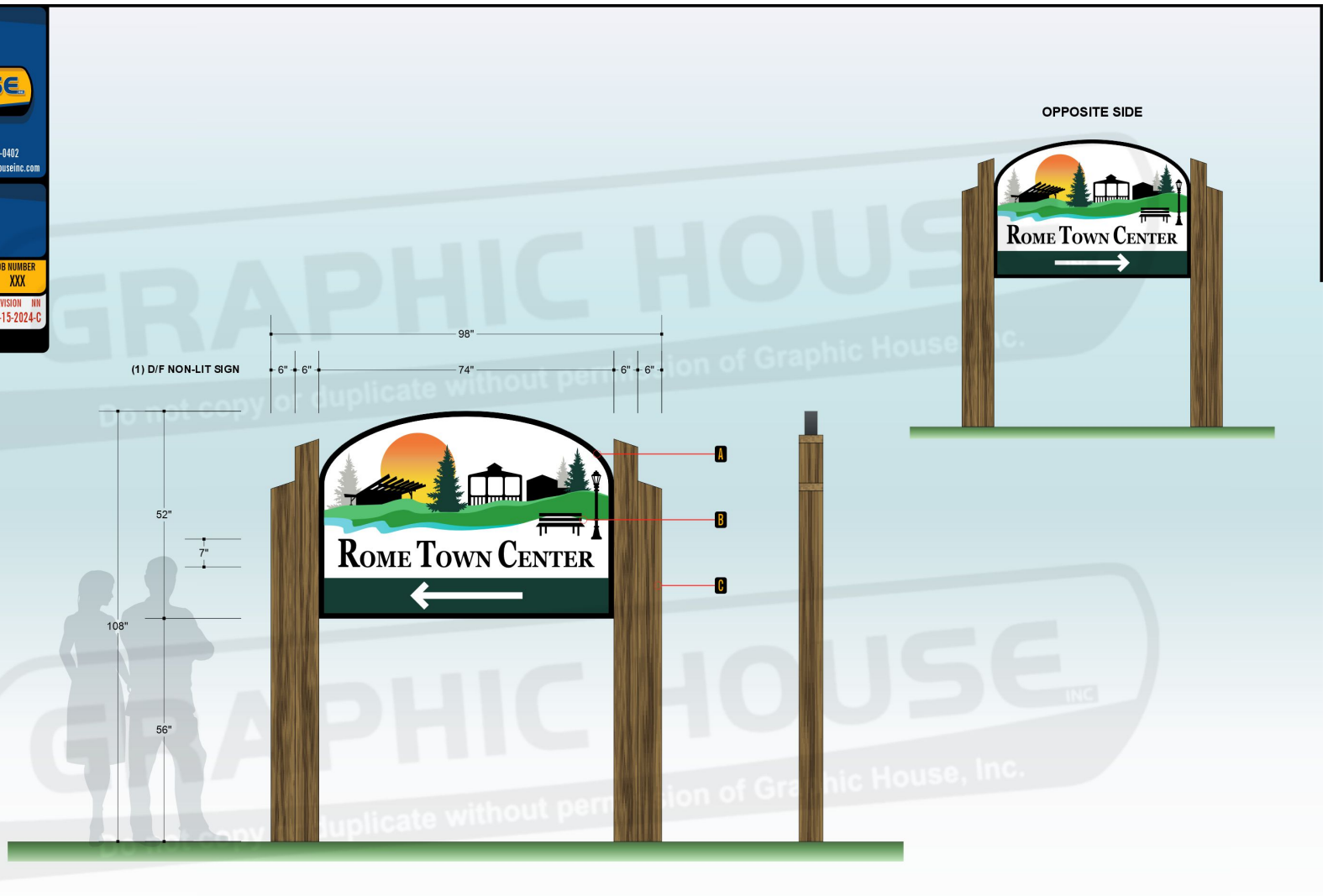
DP2 - PMS 7739c

DP3 - PMS 2256c

DP4 - PMS 4288c

DP5 - PMS 310c to PMS 3262c Gradient

DP6 - Black



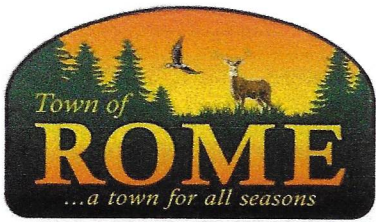
CLIENT HAS IDENTIFIED THE LOCATION IN WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

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RELEASE AUTH: _____

PLEASE REVIEW SPECS & PROOF CAREFULLY - CHECK FOR TYPOGRAPHICAL ERRORS & OMISSIONS, LAYOUT ACCURACY, ETC. CUSTOMER HAS SOLE RESPONSIBILITY TO CORRECT ANY ERRORS. DISCLAIMER: THE INK COLORS SHOWN IN THIS RENDERING PROVIDE CONCEPTUAL COLORS & GRAPHICS LOCATIONS ONLY. THE COLORS MAY NOT MATCH THE ACTUAL AUTOMOTIVE PAINTS, PANTONE OR VINYL COLORS THAT WILL BE USED ON OR IN THE SIGN(S) SHOWN. ALL SIZES, SHAPES, COLORS, ETC. ARE CONCEPTUAL & MAY VARY FROM ACTUAL PRODUCT. A MANUFACTURER'S LABEL WILL BE ADDED TO YOUR SIGN AT THE DISCRETION OF GRAPHIC HOUSE, INC.

**OFFICE USE ONLY:**

Date: _____ PERMIT #: _____
Parcel #: _____ Zoning District: _____
Waterfront Yes No

Zoning Department

1156 Alpine Drive Phone: 715 325-8019

Nekoosa, WI 54457 Fax: 715 325-8035

Email: zeddies@romewi.comwww.romewi.com**SITE PLAN & PLAN OF
OPERATION REVIEW APPLICATION
\$350.00 APPLICATION FEE**

* **ADDITIONAL REGULATIONS:** The undersigned hereby applies for a Permit to do work described and located as shown on this application and the attached plot plan. For your protection, you should determine if your project is subject to regulations of any other entity such as Adams County, the State of Wisconsin, or a homeowners association.

* **SETBACKS:** All lot lines shall be physically marked for all setbacks that are less than ten feet greater than the required setback (e.g. side lot setback = 10 ft., if actual setback will be less than 20 ft., must mark lot line). **IMPORTANT NOTE:** Permits are issued based upon information submitted including the plot plan. It is the property owner/contractor responsibility to complete construction according to the approved submittals and in accordance with all ordinances and with all laws of the State of Wisconsin applicable to said premises and work.

CIRCLE ONE: DWELLING ATTACHED ACCESS. BUILDING DETACHED ACCESS. BUILDING SHED COMMERCIAL OTHER

PLEASE PRINT CLEARLY & FILL OUT COMPLETELY

Owned By: KENT SCHNEIDER Phone: _____
{First} {Middle Initial} {Last}

Mailing Address: _____

Property Description:Gov. Lot: _____ or S/W 1/4, SE 1/4, Sec. 17, T 20 N, R 6 ELot: 26; Block: _____; Addition: CANTERBURY; Subdivision: _____Property Address: 382 ST HWY 13 SLot / Parcel Size: Width: _____ Length: _____ Acres / Sq. Ft.: 0.416**Construction Description:** WOOD FRAME, ONE STORY ADDITION

(New Dwelling, Addition, Accessory Building, Shed)

Use: B&B RESTAURANT, SEATING AREA

(Residence, Residential Accessory, Commercial, Industrial, Public etc.)

Type of Construction (if Manufactured Home, list year): WOOD FRAME, SLAB ON GRADE

(Frame, Masonry, Manufactured, Pole, etc.)

Building Description: Width: 36'-0" Length: 43'-0" Area: 1548 Sq. Ft.
Height: 12'-0" No. of Stories: ONE No. of Bedrooms: TWO

IMPORTANT NOTES: IT IS THE RESPONSIBILITY OF THE PERSON SIGNING TO CALL FOR REQUIRED INSPECTIONS. THE UNDERSIGNED FURTHER ACKNOWLEDGES: (1) THAT THEY HAVE READ *NOTES ABOVE. AND THE NOTICE ON THE BACK OF THIS PERMIT APPLICATION REGARDING WETLANDS. (2) THAT THE SIGNATURE BELOW ALSO GRANTS CONSENT FOR DEPARTMENT STAFF TO ENTER PREMISES.

Signature of Owner or Agent: [Signature] Cell # 715-572-2698Printed Name: VIM LUCAS E-mail: ARCENTRALINC@OUTLOOK.COMAddress: 1408 STRONGS AVE, STEVENS POINT WI 54481**OFFICE USE ONLY:**

Zoning: \$ _____

Paid: \$ _____

(check # or cash)

Date: _____

By: _____

Comments / Conditions: _____

Approved by: _____

Denied by: _____

Date: _____

Date: _____

New Business Information Sheet

Interested in a Rome Town Center (RTC) property purchase?

Please submit an Offer to Purchase letter to the Town Administrator, including:

- a. General location, acreage and amount offering for parcel (all land is sized to suit in RTC, there are no pre-determined lots).
- b. Description of the business and whether a permitted or conditional use in RTC Sub-zoning District selected (Sub-zoning Districts are available on-line, <https://ecode360.com/33913291>, or through the Town Administrator).
- c. Business Plan outlining marketing analysis for selection in RTC, also include sales/income forecast projections and possible funding partners.
- d. Beginning of a Site Plan/Plan of Operation, including how the business would be arranged on the parcel, ingress and egress of customers/employees, parking, and building design/colors in accordance with the [Rome Town Center Design Plan](#).

The Town of Rome wants entrepreneurs to succeed! Good planning ensures both success for the business and for the municipality. If you need assistance to complete any of the items noted above, please contact the Town Administrator to be connected to free or low-cost entrepreneurship assistance.

Purchase documents can be provided to Jason Lauby, Town Administrator, 1156 Alpine Drive, Nekoosa, WI 54457 or lauby@romewi.com. All complete offers (including all items above) are considered by the Community Development Authority (CDA) at their next available meeting. The CDA meets the first Thursday of every month at 3 PM, special meeting can be arranged if necessary.

New Business Outside of RTC and/or After RTC Purchase

1. All new businesses in the Town of Rome need to meet with the Zoning Administrator to discuss necessary permits.
2. All new development must have a Site Plan/Plan of Operation (§ 360-132 Permit procedure)
3. New Owners of an existing commercial building
 - a. If the new owners plan to operate the business with a Site Plan/Plan of Operation that is substantially similar to the current business, a new Site Plan/Plan of Operation is not needed
 - b. If the new owners plan to operate the business with a Site Plan/ Plan of Operation that is not substantially similar to the current business, a new Site Plan/ Plan of Operation is required
- Required for Plan Commission (§ 360-131 Standards for all businesses; Article XVII Rome Town Center District if your business is located in RTC):
 - Site Plan/ Plan of Operation Review Application
 - Formal Site Plan of entire property, plans should be to-scale (include property boundaries, setbacks, and proposed placement of future development)
 - Proposed Signage
 - Landscaping Plan
 - Building Design Plans (include exterior colors and finishes; samples required)
 - Refuse Enclosure
 - Lighting Plans
 - Design of Ingress and Egress including Parking Lot/Paving Plan

- Utility Plan (Sanitary Permit from Adams County Planning and Zoning)
- Stormwater Runoff Plans (Adams County Planning and Zoning)
- Relevant Articles in Town Code:
 - Article XVII Rome Town Center District
 - Article XVI B-1 Business District
 - Article XXXI Gateway Overlay District
 - Article XXVI Design Standards
 - Article XXV Signs and Billboards

Site plan/plan of operation documents can be provided to Taylor Owczynsky, Administrative Assistant Support Specialist, 1156 Alpine Drive, Nekoosa, WI 54457 or zoning@romewi.com. All site plan/plan of operation proposals are considered by the Plan Commission at their next available meeting.

Print: Kent Schneider Sign:  Date: 3/20/24

The undersigned further acknowledges: (1) I have read the entirety of this document and Town Code related to my zoning district(s); (2) I agree to abide by the regulations; (3) I understand the expectation of documents to be provided for Plan Commission.

FINDINGS OF FACT:

- 1) A full and complete application was filed by KMC Tucks, LLC, d/b/a Cal's Corner, and received February 20, 2024 (herein referred to as "Application") seeking approval of a Site Plan & Plan of Operation Review for the property at 382 State Highway 13, located in the SW1/4, SE1/4, Section 17, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-01951-0000.
- 2) The Site Plan & Plan of Operation Review is to allow for construction of a seating area/addition at the property.
- 3) The property is zoned B-1 Business District, as defined in Chapter 360 of the Town Code.
- 4) The Town of Rome Planning Commission duly set this matter upon the agenda of a public meeting and considered the above-described application with the public hearing a matter of record of the Planning Commission meeting of April 9, 2024.
- 5) At the public hearing on the Application held by the Town of Rome Plan Commission on April 9, 2024, evidence and testimony was presented by the Applicant, and all interested persons were allowed an opportunity to speak, a full and complete record of which will be detailed in the minutes of the Plan Commission.
- 6) At the conclusion of the public hearing, after consideration and discussion of the application, public comments, and the report received by staff, the Planning Commission, upon a motion duly seconded, approved the request for the Site Plan & Plan of Operation, and the following findings were found by the Plan Commission:
 - a. The Site Plan & Plan of Operation conforms with the standards of the applicable district in which it is located.
 - b. The establishment, maintenance or operation of the proposed seating area/addition and use will not be detrimental to or endanger the public health, safety or general welfare of the occupants of surrounding lands.

The Town of Rome Plan Commission hereby recommends approval of the Site Plan & Plan of Operation request submitted by KMC Tucks, LLC, d/b/a Cal's Corner, to allow for the construction of a seating area/addition at parcel# 030-01951-0000. The following additional conditions were placed on the approval: (if applicable):

- a. _____
- b. _____
- c. _____
- d. _____

Planning Commission Chair

Date

Planning Commission Secretary

Date

Signature of Owner/Applicant: _____

Date: _____

Signature of Owner/Applicant: _____

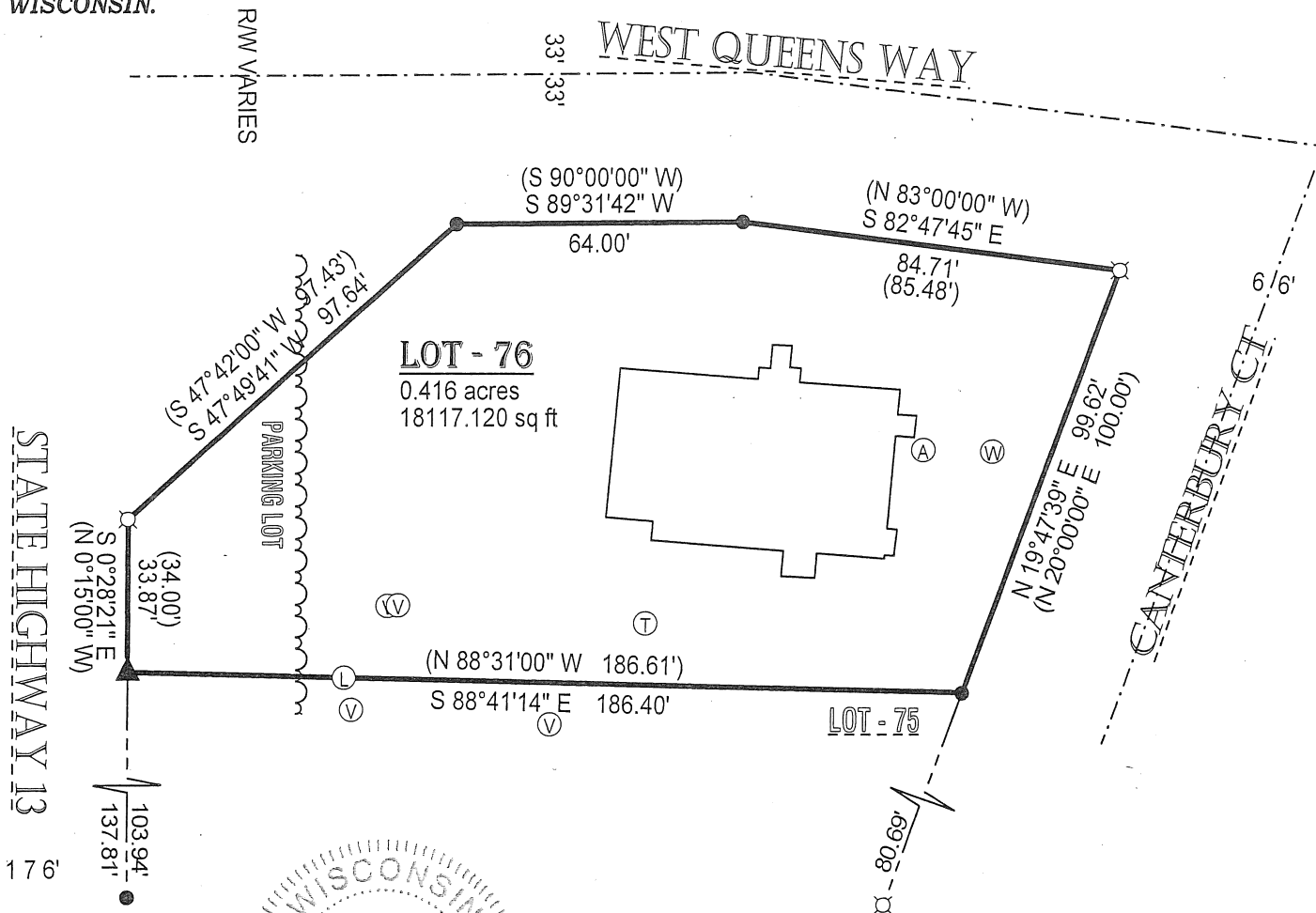
Date: _____

Note: if Owner is other than Applicant and is unable to sign, please attach written authorization from Owner allowing Applicant to sign on their behalf

PLAT OF SURVEY

*This map DOES NOT transfer property ownership. Sale
or transfer of property requires a recorded deed.*

**BEING ALL OF LOT 76 OF CANTERBURY ADDITION TO LAKE SHERWOOD, LOCATED IN PART OF THE
SW1/4 SE1/4 OF SECTION 17, TOWNSHIP 20 NORTH, RANGE 6 EAST, TOWN OF ROME, ADAMS COUNTY,
WISCONSIN.**



CERTIFICATION:

I hereby certify that such map is a correct representation of the exterior boundaries of the land surveyed and that the above map is a true representation thereof. That I have complied fully with Section AE7 of Wisconsin Statutes to the best of my knowledge and belief.

THE SOUTH LINE OF LOT 76 ASSIGNED A BEARING OF S 88°41'14" E FOR THIS MAP.

- .75" IRON ROD FOUND
- ⊗ 2" IRON PIPE FOUND
- ⓪ SEPTIC VENT
- ⓪ SEPTIC TANK
- ⓪ WOODEN LATH SET
- ⓪ ANTENNA
- ⓪ WELL
- () RECORDED AS

SCALE: 1" = 40'



KEVIN M. WHIPPLE P.L.S. 2444

Drafted By: Erin Whipple

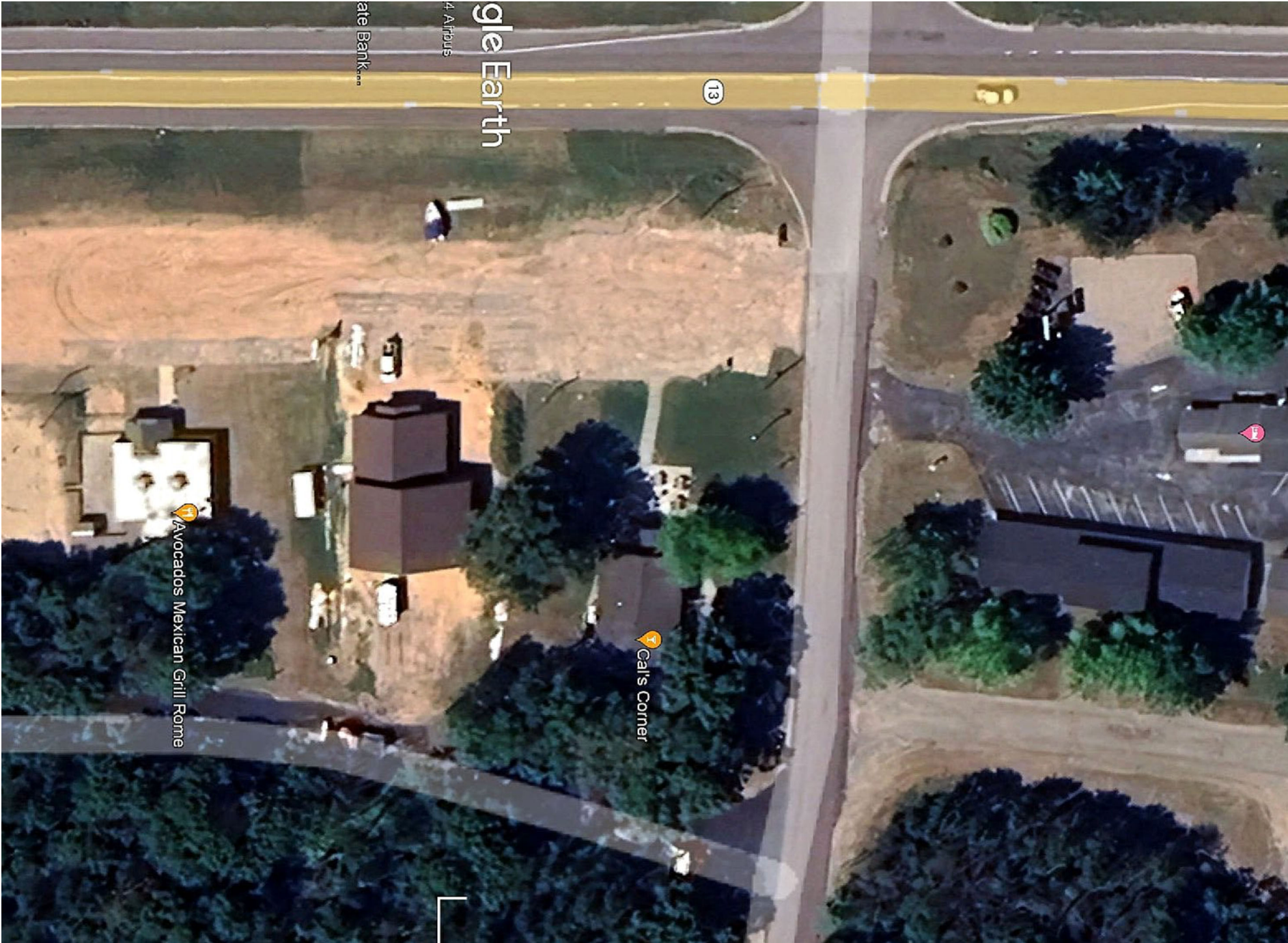
FIELD WORK COMPLETED ON 12/27/22

Kevin M. Whipple 1-24-23



ARC CENTRAL LLC
Architecture, Construction
Management, Interior Design
755.572.2698
arccentralinc@outlook.com

SITE IMAGE



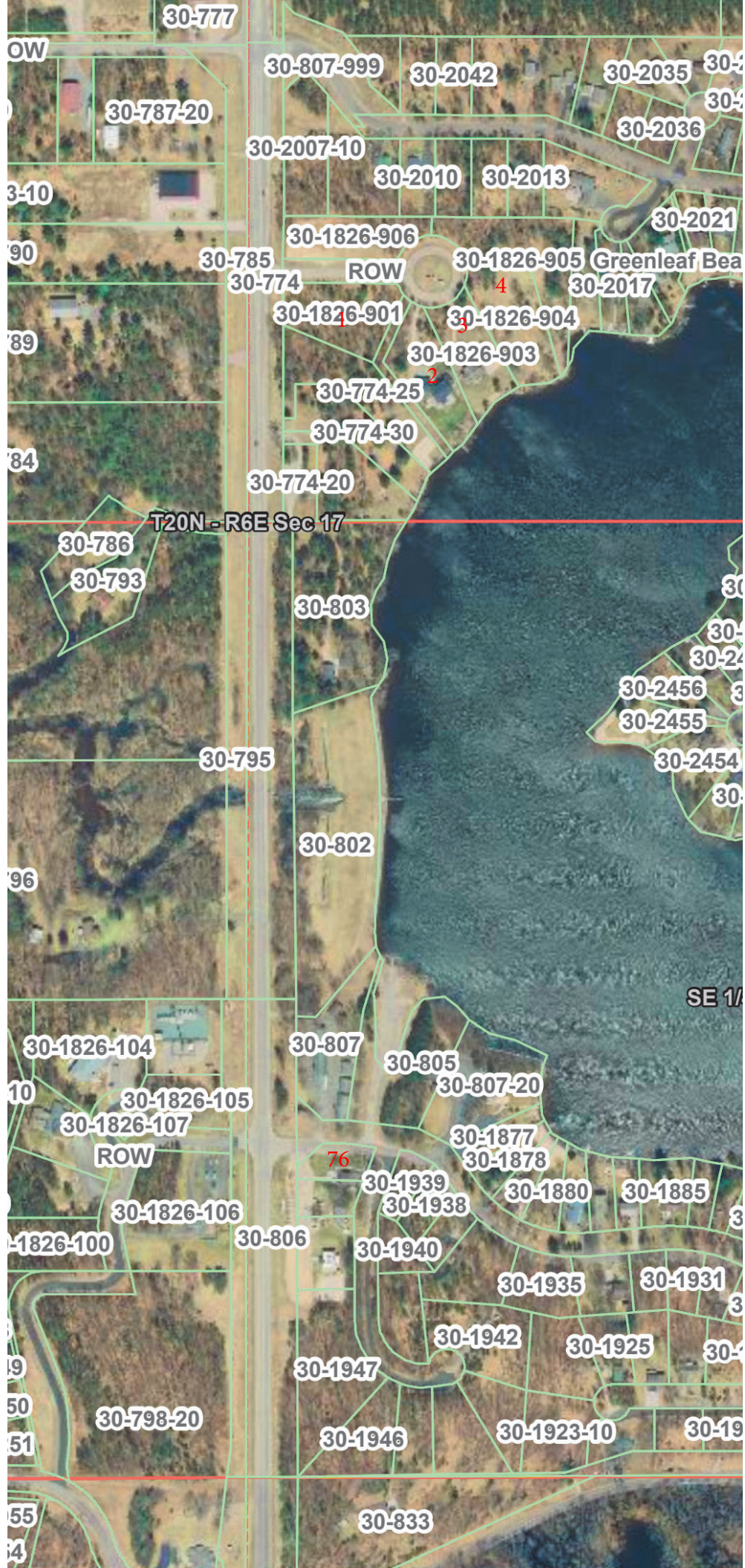
ADDITION
FOR
KENT SCHNEIDER
382 State Highway 13
Nekoosa, WI 54457

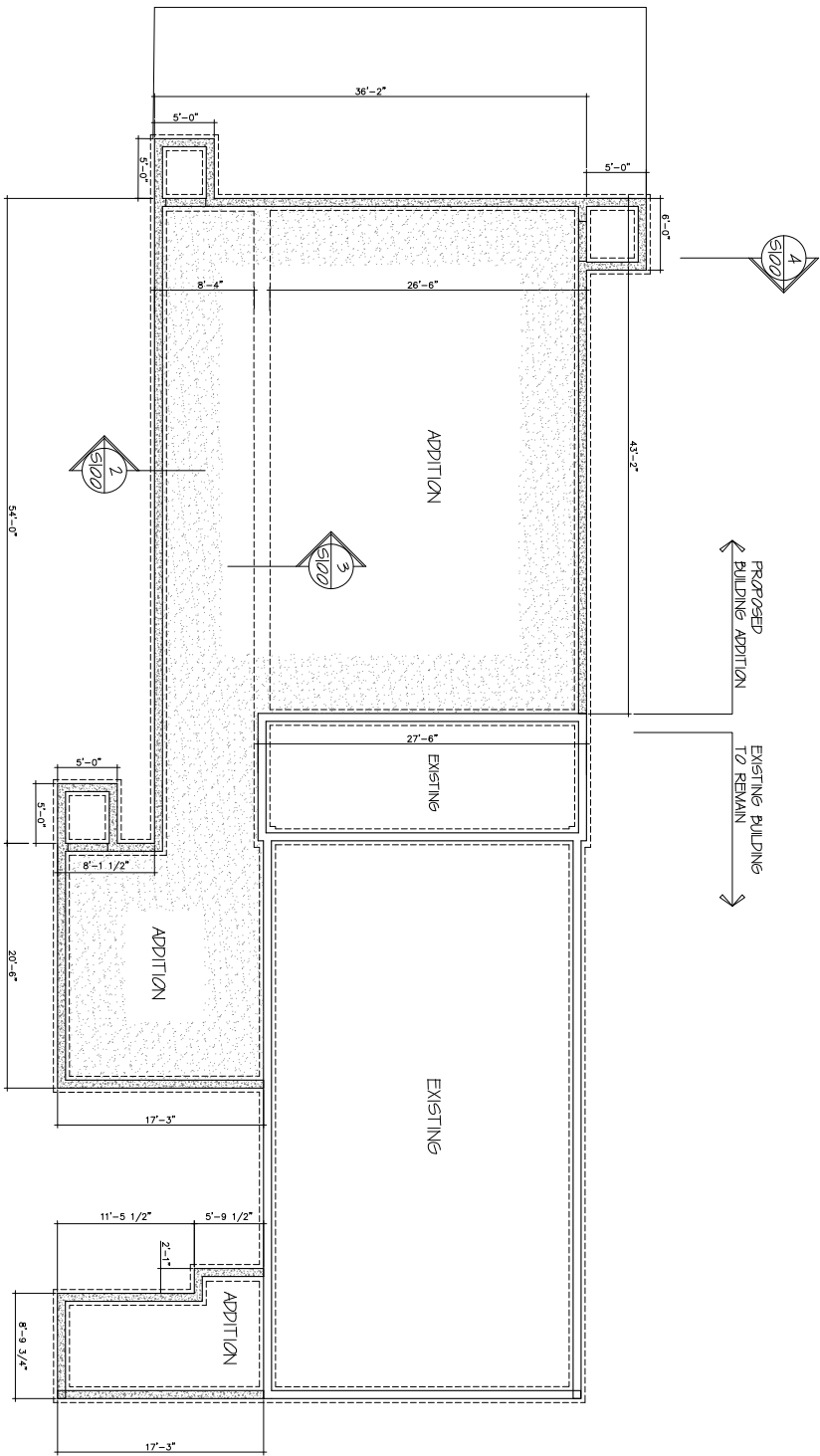
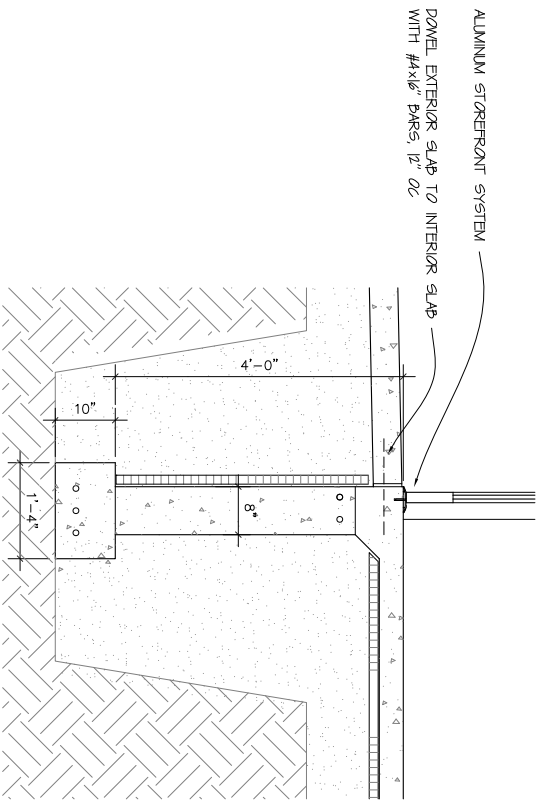
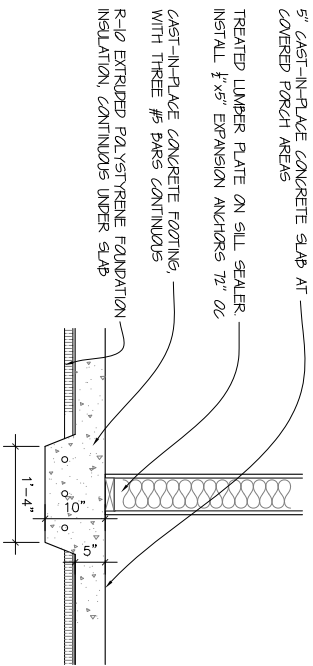
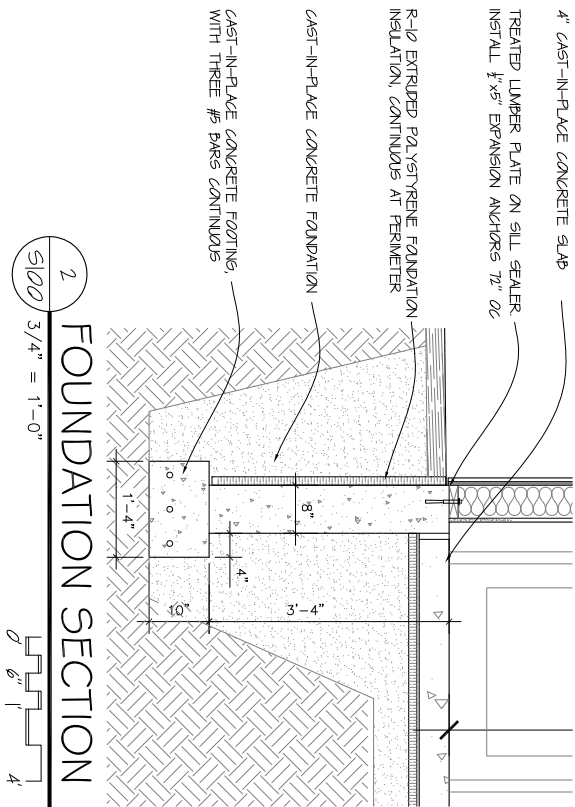
REVISIONS	
Prelim Plan date	
Con Doc's date	7/5/23
Approval	9/11/23
Rev 1	12/13/23
Rev 2	

DATE
APR. 4 2023
PROJECT NO.
123021



SITE IMAGE





ALL CAST-IN-PLACE CONCRETE SLABS FOOTINGS AND GRADE BEAMS SHALL BE MIXED TO ACHIEVE A COMPRESSIVE STRENGTH 4000 PSI MINIMUM, AND SHALL BE AIR ENTRAINED.

CONCRETE MIX SHALL CONTAIN FIBRILLATED FIBERMESH REINFORCING, 15 LBS PER CUBIC YARD.



REVISIONS	
Con Doc's	date
Approval	7/5/23
Rev 1	9/11/23
Rev 2	date

DATE
APR. 4 2023
PROJECT NO.
123021

ADDITION
FOR
KENT SCHNEIDER
382 State Highway 13
Nekoosa, WI 54457

FOUNDATION PLAN
&
DETAILS

ARC CENTRAL LLC
Architecture, Construction
Management, Interior Design
755.572.2698
arccentralinc@outlook.com



© arc central llc. 2023



ARC CENTRAL LLC
Architecture, Construction
Management, Interior Design
755.572.2698
arccentralinc@outlook.com

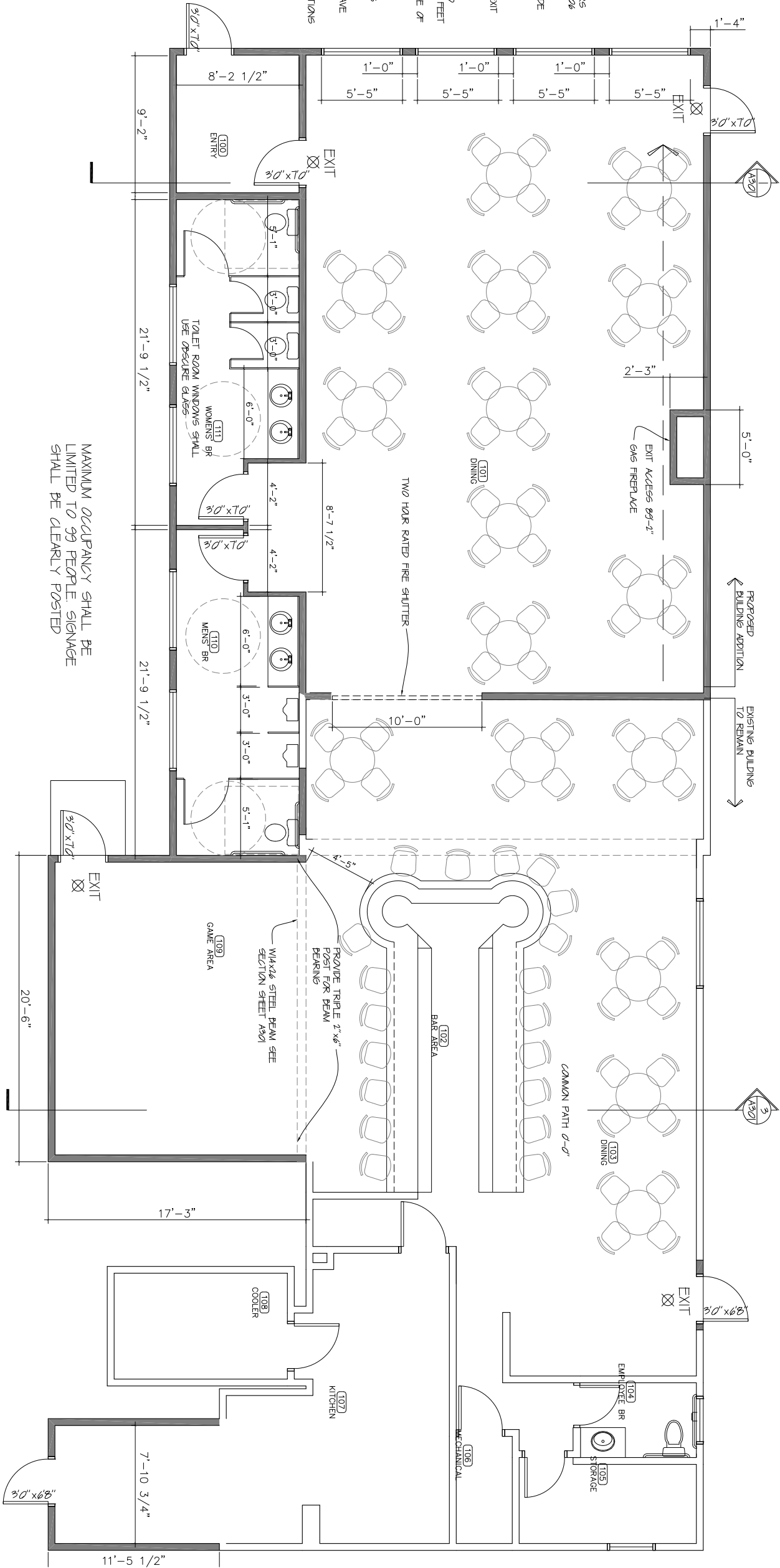
FIRST FLOOR
PROPOSED PLAN

ADDITION
FOR
KENT SCHNEIDER
382 State Highway 13
Nekoosa, WI 54457

REVISIONS	
Prelim Plan date	
Con Doc's date	7/5/23
Approval	9/11/23
Rev 1	date
Rev 2	date

DATE
APR. 4 2023
PROJECT NO.
12021

A|01



SHEET NOTES

CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER IFC 30% INSTALL AND MAINTAIN PER IFC 30% AND NFPA 12

52.02C = LOW HAZARD GLASS 1/4" FIRE PROVIDE 2-A EXTINGUISHERS AS SHOWN ON SHEET A002

PROVIDE EMERGENCY BATTERY POWERED EXIT LIGHTING OF 10 FOOT CANDLE MINIMUM AT ALL EXIT WALKING SURFACES TO AND INCLUDING EXIT DISCHARGE

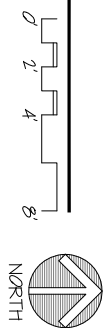
EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT PASSAGE IS MORE THAN 100 FEET FROM THE NEAREST VISIBLE EXIT SIGN. EXIT LIGHTING SHALL BE BATTERY OPERATED IN CASE OF POWER OUTAGE FOR 30 MINUTES.

ROOM FINISHES SHALL BE GYPSUM 6, PAINTED GYPSUM WALL BOARD, AND METAL SATISFY THIS REQUIREMENT

NEW VESTIBULE AND EXTERIOR DOORS SHALL HAVE PANIC HARDWARE

OWNER SHALL INSTALL SIGNS INDICATING DIRECTIONS TO THE TOILET ROOMS

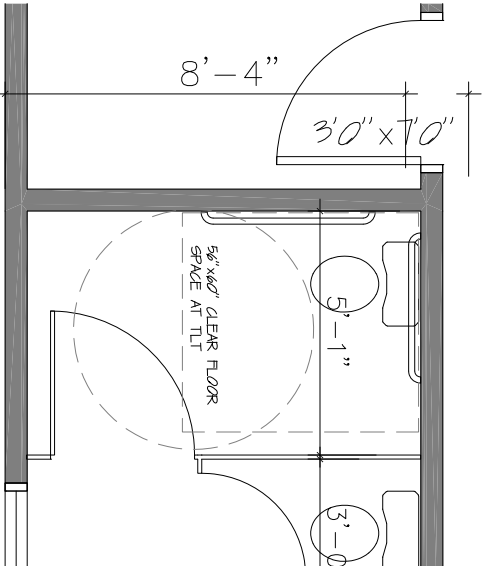
1 FIRST FLOOR PROPOSED PLAN



MAXIMUM OCCUPANCY SHALL BE LIMITED TO 99 PEOPLE. SIGNAGE SHALL BE CLEARLY POSTED

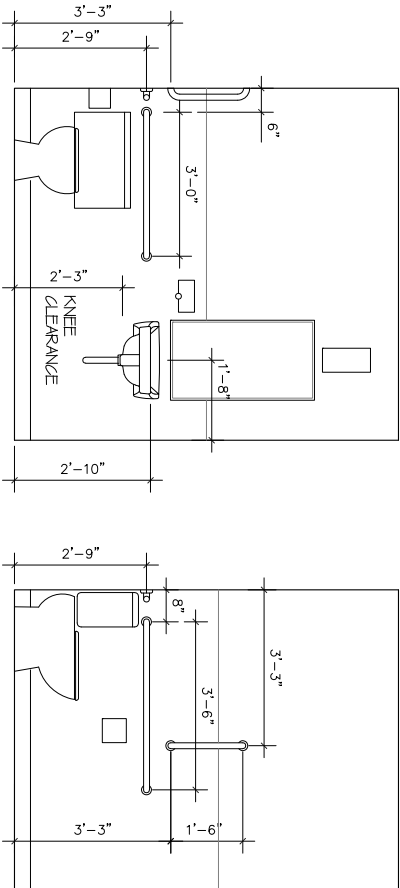
2 DETAIL TOILET PLAN

A|01



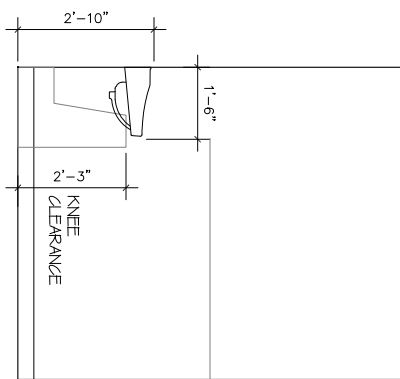
3 TOILET RM ELEVATION

A|01



4 TOILET ROOM ELEVATION

A|01



NEW PARTITION
EXISTING PARTITION TO REMAIN
TO BE DEMOLISHED

SEE SHEETS 6102 & 6101 FOR ADDITIONAL ACCESSIBILITY DETAILS AND DIMENSIONS

PLUMBING CONTRACTOR SHALL PROVIDE ADA COMPLIANT DRAIN AND SUPPLY LINE PROTECTION UNDER THE LAVS

PROVIDE TOILET AND BATHING ROOM FLOORS WITH A SMOOTH, HARD, NONABSORBENT SURFACE EXTENDING 4" MINIMUM UP THE WALLS

**TOWN OF ROME
PLANNING & ZONING**

Date: 3/19/2024

Property Owner: Kent Schneider
Cal's Corner

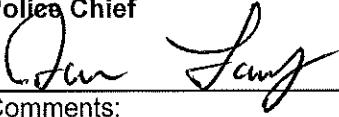
Legal Description: Lot 1 S/W 1/4, SE 1/4, Sec. 17, T 20 N, R 6 E
& 1/50TH INT IN LOT 1 CANTERBURY ADD LS

382 ST HWY 13 S

030-01951-0000

- ☐ Land Division
- ☐ Platting
- ☒ Site Plan/Plan of Operation
- ☐ Preliminary
- ☐ Final

Police Chief

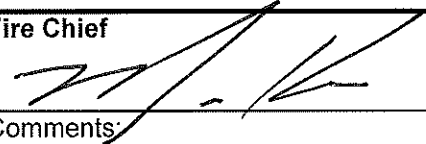


Comments: _____

☒ Approved

☐ Disapproved

Fire Chief



Comments: _____

☒ Approved

☐ Disapproved

Director of Public Works



Comments: _____

☒ Approved

☐ Disapproved

Town Clerk



Comments: _____

☒ Approved

☐ Disapproved

Tax Assessor

Comments: _____

☐ Approved

☐ Disapproved



Tony Evers, Governor
Dan Hereth, Secretary

3/27/2024

JAMES LUCAS
ARC CENTRAL LLC
1930 1ST STREET N
WISCONSIN RAPIDS, WISCONSIN 54494

CONDITIONAL APPROVAL

PLAN APPROVAL EXPIRES: 03/27/2026
CODE APPLIES: 11/07/2023

MUNICIPALITY:
TOWN OF ROME
ADAMS COUNTY

SITE:
CAL'S CORNER
382 ST HWY 13 S
NEKOOSA, WI 54457

FOR:
382 ST HWY 13 S

Building Name: Cal's Corner
Object Type: Building
Major Occupancy: A-2 - Dining & Drinking Assembly
Class of Construction: VB - Combustible Unprotected Construction
Building Review Type: Addition
Plan Type: Full/Complete Building
Total Floor Area in Sq Ft: 1,540
Sprinklered Type: None
Additional Occupancy: R-3 - Rowhouse & Incidental Residential
Allowable Area Determined By: Separated Use
Structural Components Included in Review: None
Alteration Level: None

SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A Department electronic stamp and signature shall be on the plans which are used at the job site for construction.

Identification Numbers

Plan Review No.: CB-032400409-PRB

Application No.: DIS-112348024

Site ID No.: SIT-123765

Please refer to all identification numbers in each correspondence with the Department.

The following conditions shall be met during construction or installation and prior to occupancy or use:

SUBMIT:

- SPS 361.30(3) - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation in the field. The HVAC plans shall be submitted on the DSPS website. Building Designer should coordinate with HVAC design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D. number to the HVAC Designer to help coordinate review. Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.
- SPS 361.30(3) - Submit, prior to installation, one set of properly signed and sealed truss plans, calculations substantiating the design, and associated pertinent information including this transaction number or CB number as a previous transaction. A truss plan submittal may be made on the DSPS website. Note as per SPS 302.31(1)(d)4. the fee for a structural component submitted after installation shall be an additional \$250 plus a \$100 submittal fee.
- SPS 361.30(3) - It has been determined that this building may include 16 or more plumbing fixtures or other fixtures or systems requiring review, thus plumbing plans may need to be submitted and approved prior to installation. Review Tables SPS 382.20-1 & 2 for specifics on plumbing plan submittal. You may contact any general plumbing plan reviewer at: 1-608-267-9421 or DspsSbPlbgTech@wi.gov

KEY ITEM(S):

- IBC 903.2.1.2/SPS 362.0903(2) - Provide an automatic fire sprinkler system throughout a Group A-2 fire area and intervening floors where the fire area exceeds 5,000 sq. ft., or the fire area has an occupant load of 100 or more, or the fire area is located on a floor other than a level of exit discharge serving such occupancies. As a sprinkler system has not been provided the occupant load of the bar and dining room space shall not exceed 99 people at any one time.
- IBC 1609.1.1 - Wind loads shall be determined per chapters 26 to 30 of ASCE 7. The submitted calculations do not present a complete wind load analysis and design. The building designer shall verify complete design of the main wind force resisting system including analysis and design of wind load transfer and resistance at the west end of the existing 2 story portion of the building where the existing second story exterior wall is completely supported on an existing beam to support gravity loads but no information regarding the existing lateral load resisting system (portal/moment frame?), its capacity, or transfer of those lateral loads to other lateral load resisting elements either existing or new has been provided. All gypsum board and wood structural panel shearwalls shall be blocked.
- IBC 1603.1.3/SPS 362.1603(1) - The ground snow load P_g shall be indicated. In areas where the ground snow load P_g exceeds 10 pounds per square foot, the following additional information shall also be provided, regardless of whether snow loads govern the design of the roof: flat-roof snow load P_f ; snow exposure factor C_e ; snow load importance factor I from risk category; thermal factor C_t ; any sloped-roof snow load, P_s ; and any unbalanced, drift or sliding snow loads. These shall all be indicated on the construction documents for location and distribution. The plans indicate an 80 psf drift load but do not adequately convey the extent and distribution of the drift load (or provide calculation for determination of the drift load) and do not reflect the required drift load on the lower roof at the west end of the existing two story building.

ALSO ADDRESS:

- IBC 1008.3.2 - When power supply failure occurs, an emergency electrical system shall automatically illuminate means of egress in interior rooms and spaces, exit access stairs and ramps; interior and exterior exit stairs and ramps; exit passageways; vestibules and areas used for exit discharge; and exterior landings at exit doorways.

REMINDERS:

- ICC/ANSI A117.1 Sec. 604.9 - Wheelchair accessible toilet compartments shall be a minimum 60 inches wide from the side wall, and minimum 56 inches long from the back wall for a wall hung water closet and 59 inches long for a floor mounted water closet. Doors may not swing into the required minimum compartment size, and shall comply with Section 604.9.3. Toe clearance at the toilet compartments shall be provided per ANSI A117.1 s. 604.9.5.1.
- IBC 1004.3 - Every room or space that is an assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or owner's authorized agent. The occupant load shall be posted for a maximum of 99 people at any one time.

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin

Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under REQUIRED SUBMITTAL(S), may also be required.

All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.

This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.

In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.

Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. Compliance statements shall be filed online at <https://esla.wi.gov/PortalCommunityLogin>.

Inquiries concerning this correspondence may be made to me at the contact information listed below, or at the address on this letterhead.

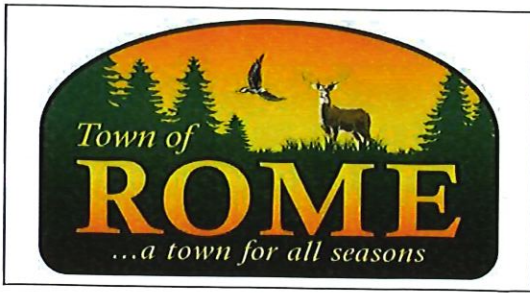
Sincerely,



Steve Dobratz, PE
Consultant Building Systems
Division of Industry Services
Phone: 920 492 2214
Email: steve.dobratz@wisconsin.gov

cc:

MELISSA RHODES, MUNICIPAL CLERK, 7153258035, RHODES@ROMEWI.COM
KENT SCHNEIDER, CAL'S CORNER



Planning and Zoning Department

1156 Alpine Drive
Nekoosa, WI 54457

zoning@romewi.com

Phone: 715-325-8019

www.romewi.com

Fax: 715-325-8035

PETITION FOR ZONING MAP AMENDMENT and COMPREHENSIVE PLAN AMENDMENT

FEE: \$400.00⁽¹⁾

⁽¹⁾ If the applicant does not appear or is not represented at the public hearing, the petition may be denied or tabled and the applicant may be required to pay another application fee to reschedule the hearing.

Attach plot plan or location sketch showing the entire land parcel including the location, boundaries, uses and sizes of the following: subject site, portion to be rezoned, existing and proposed structures, street rights-of-way, easements, alleys, off-street parking, loading areas, road access points, driveways and all other pertinent features.

Applicant:

Name of Owner Brian Shaurette & Tanya Johnson

Mailing Address 286 8th Ave

Nekoosa, WI 54457

Phone 715-869-7029 (Brian)

Property Location / Description:

PT N1/2 NW1/4 Section 13, Town 20, Town Dr N 1/2,
LOT 1 CSM 1729 & OL 1 CSM 5224 Range 06, Range Dr E
40, 160.

COMBINED PARCEL

Address 302 8TH AVE – Current Owner Michael Irwin

The total area of the property is: .5 acres and the current zoning district is: **R4**

Current Comprehensive Plan classification is: n/a

Current use of the property is: Recreational Use



I request that the comprehensive plan classification for the above described property be changed to N/A



I request that the zoning classification of the above described property be changed to the R2 district.

Proposed use of the property is: Residential Use

Proposed zoning and/or comprehensive plan classification conforms to the purpose, intent, spirit and regulations of the

zoning ordinance and/or the Comprehensive Plan because: Rezone would make land considered to be more conforming.

²⁾ The applicant's signature on this form grants consent for Dept. staff and Plan Commissioners to enter the property for inspection related to this application. Said consent does not include consent to enter a dwelling or other structure on the property. Furthermore, the undersigned hereby applies for the zoning map change requested above and states that the information on this application and the attached documents are accurate. The application must be signed by all property owners of record. If an agent is to sign the application, written proof of authority is required to accompany the application. If the property is in a Trust, the Trustee must sign the application, provide proof of trustee authority. If needed, obtain a **TRUST INFORMATION form** from the Planning and Zoning Department. The application must be complete including an address and phone number where someone can be reached for questions or information.

Landowner signature ⁽²⁾

Brian Shaurette

Date 3-8-2024

FINDINGS OF FACT:

- 1) A full and complete application for a Zoning Map amendment, together with established fee, was filed by Brian Shaurette and Tanya Johnson, and received March 8, 2024 (herein referred to as “Application”) seeking a Zoning Map amendment for a .5-acre portion of parcel # 030-00747-0010, legally described as:
 - a. 030-00747-0010- that portion located in the SW1/4- SW1/4, Section 12, T20N, Range 06E, Town of Rome, Adams County, WI. Total Area .5-Acres.
- 2) The property herein is currently zoned R-4 (Rural Residence District), as defined in Chapter 360 of the Town of Rome’s Ordinance.
- 3) The Proposed classification change is to R-2 (One- and Two-Family and Manufactured Dwelling Residence District) in the Town’s Zoning Ordinance for the purpose of combining the .5-acre portion of 030-00747-0010 with parcel 030-01520-0010.
- 4) A public hearing was held by the Town of Rome Plan Commission on April 9, 2024 on the Application, allowing all interested persons an opportunity to speak, a full and complete record of which will be detailed in the minutes of the Plan Commission.
- 5) The proposed Zoning Map amendment conforms to the purpose, intent, spirit and regulations of the Zoning Ordinance because the zoning amendment would prevent split-zoning of a parcel if combined with parcel 030-01520-0010, and the resulting larger lot size of 030-01520-0010 would provide for a less-dense residential development, while providing a transition to more rural-zoned areas, promoting compatibility with surrounding land uses.

The Town of Rome Plan Commission hereby recommends approval of the Zoning Map Amendment request submitted by Brian Shaurette and Tanya Johnson for a .5-acre portion of parcel # 030-00747-0010 for the purpose of combining the .5-acre portion of 030-00747-0010 with parcel 030-01520-0010, with the following conditions:

- a. _____
- b. _____
- c. _____
- d. _____

Planning Commission Chair

Date

Planning Commission Secretary

Date

ADAMS COUNTY CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 1 & OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 5224, RECORDED IN VOLUME 26, PAGE 195 AS DOCUMENT NO. 473636, BEING PART OF THE SW 1/4 OF THE SW 1/4 OF SECTION 12, TOWNSHIP 20 NORTH, RANGE 6 EAST, TOWN OF ROME, ADAMS COUNTY, WISCONSIN.

SURVEYOR'S NOTES

- LOT 1 IS A PART OF TAX PARCEL NO. 030015200010 WHICH IS ZONED R-2 (ONE & TWO FAMILY MANUFACTURED DWELLING) & TAX PARCEL NO. 030007470010 WHICH IS ZONED R-4 (RURAL RESIDENCE).
- FOR ADDITIONAL STRUCTURE SETBACKS AND OTHER PERTINENT BUILDING INFORMATION, CONTACT THE TOWN OF ROME ZONING OFFICE.
- RIGHT OF WAY FOR 8TH AVENUE WAS ESTABLISHED USING FOUND RIGHT-OF-WAY MONUMENTS FROM CSM NO. 5224 & CSM NO. 1729, BOTH WHICH AGREE WITH THE LOCATION OF SURVEYED ROADWAY. THESE FOUND MONUMENTS AGREE WITH THE 66' WIDTH PER FOUND RECORD DOCUMENTS AND SUPPORT THE RIGHT OF WAY BEING COINCIDENT, PARALLEL AND CENTERED WITH SECTION LINE.
- THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP OR SALE OF PROPERTY. TRANSFER OF PROPERTY REQUIRES A DEED.

SURVEYOR'S CERTIFICATE

I, TIMOTHY G. RUTZEN, JR., WISCONSIN PROFESSIONAL LAND SURVEYOR S-2994, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED THIS PLAT, BEING ALL OF LOT 1 & OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 5224, RECORDED IN VOLUME 26, PAGE 195 AS DOCUMENT NO. 473636, BEING PART OF THE SW 1/4 OF THE SW 1/4 OF SECTION 12, TOWNSHIP 20 NORTH, RANGE 6 EAST, TOWN OF ROME, ADAMS COUNTY, WISCONSIN.

THAT I HAVE MADE SUCH SURVEY AND PLAT AT THE DIRECTION OF MIKE IRWIN AND THAT SAID PARCEL CONTAINS 65,049 SQ. FT. OR 1.49 ACRES

THAT SAID PARCEL IS SUBJECT TO ANY RESTRICTIONS, RIGHT-OF-WAYS, EASEMENTS AND RESERVATIONS OF RECORD.

THAT SAID MAP IS A TRUE AND CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF 236.34 OF THE WISCONSIN STATUTES, CHAPTER 360 OF THE TOWN OF ROME ZONING ORDINANCE AND A-E 7 MINIMUM STANDARDS FOR PROPERTY SURVEYS OF THE WISCONSIN ADMINISTRATIVE CODE IN SURVEYING AND MAPPING TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATED THIS _____ DAY OF _____, 2023

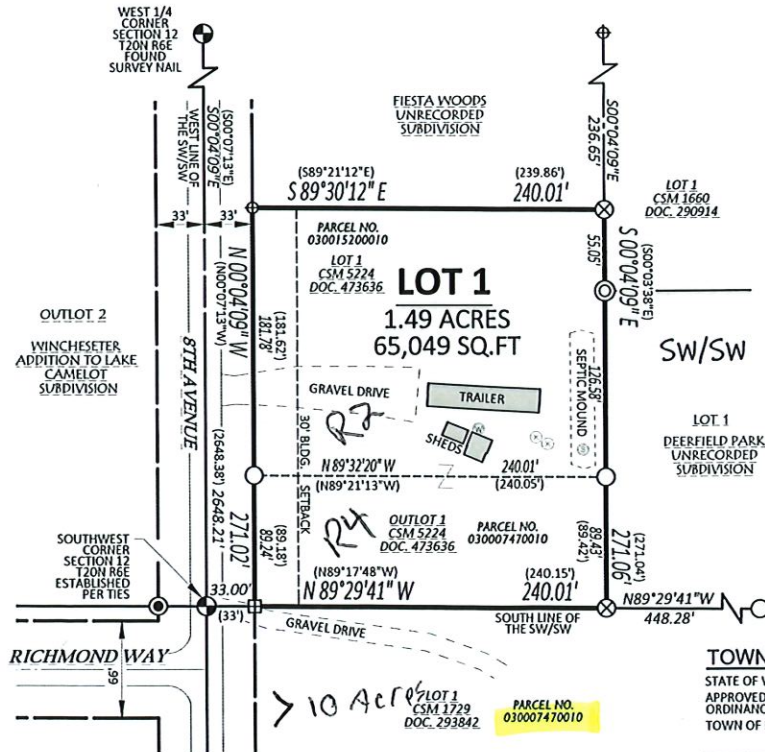
TIMOTHY G. RUTZEN JR.

WI PROFESSIONAL LAND SURVEYOR S-2994

RESERVED FOR RECORDING DATA

LEGEND

- SECTION/QUARTER CORNER
- FOUND 0.75" IRON BAR WITH CAP
- FOUND 0.75" IRON BAR
- FOUND 1.00" O.D. IRON PIPE
- FOUND 2.00" O.D. IRON PIPE
- FOUND CONCRETE MONUMENT
- FOUND HEX HEAD AXEL SHAFT
- WELL
- SEPTIC VENT
- SEPTIC COVER
- (xx.xx) RECORD BEARING OR DISTANCE
- RIGHT-OF-WAY
- PROPERTY LINE
- MINOR LOT LINE
- CENTERLINE



TOWN OF ROME APPROVAL

STATE OF WISCONSIN - TOWN OF ROME
APPROVED IN ACCORDANCE WITH THE TOWN OF ROME ZONING
ORDINANCE THIS _____ DAY OF _____, 2023
TOWN OF ROME PLANNING AGENCY

PLAT REVIEW OFFICER

PREPARED BY:
RUTZEN SURVEY SERVICES
4340 FIVE ROAD
JUNCTION CITY, WI 54443
PROJECT: IRWIN CSM
FIELD SURVEY: 12/6/2023
DRAWN BY: TGR
DATE: 12/14/2023

CLIENT:
MIKE IRWIN
302 8TH AVENUE
NEKOOSA, WI 54457

0 50' 100'
SCALE: 1"=100'

SHEET 1 OF 1

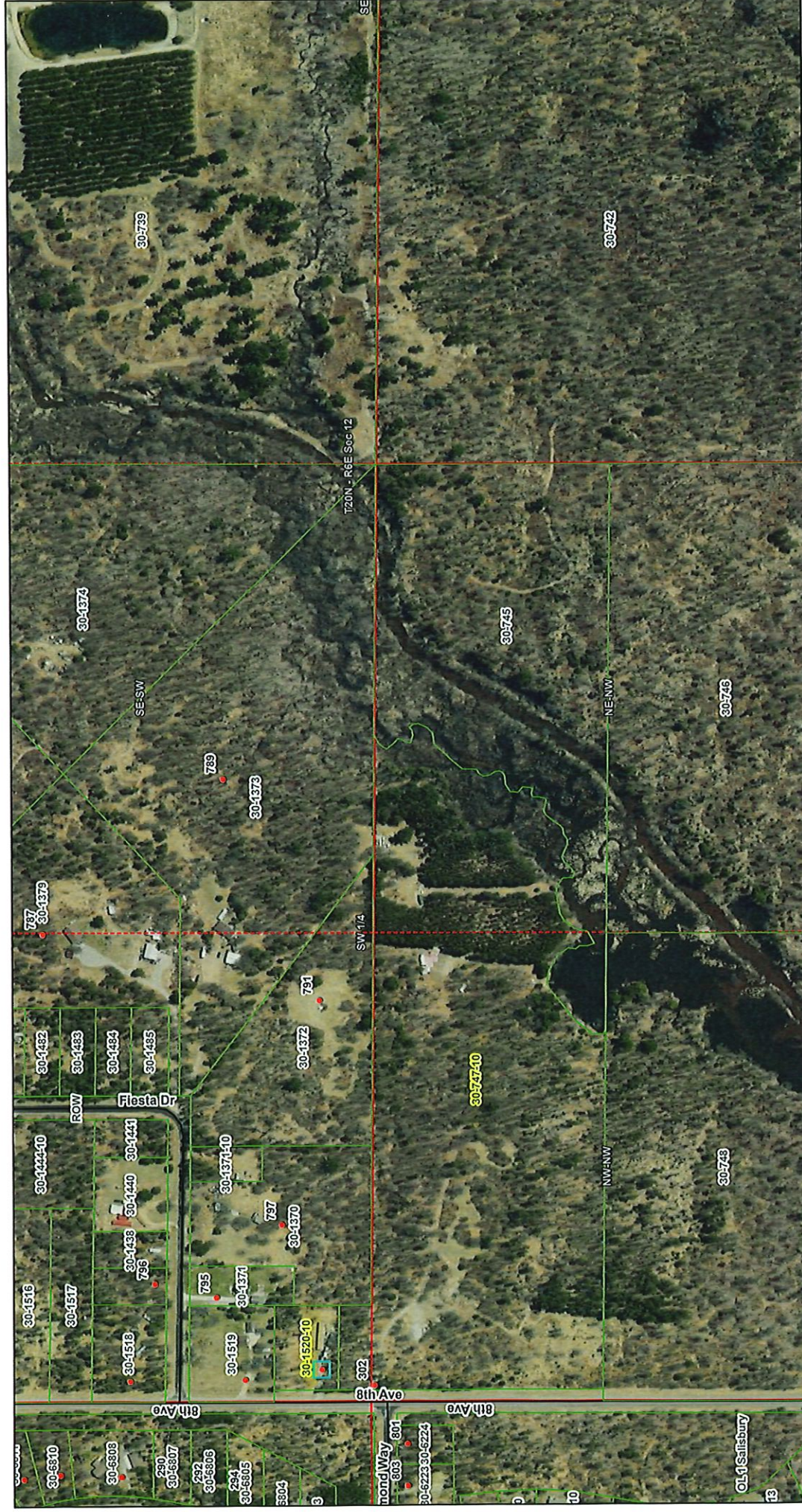
OWNER: PARCEL NO. 30-1520-10
BRIAN & TANYA JOHNSON
286 8TH AVE
NEKOOSA, WI 54457

OWNER: PARCEL NO. 30-747-10
MIKE IRWIN
302 8TH AVENUE
NEKOOSA, WI 54457











RUTZEN
SURVEY SERVICES
LAND SURVEYING • MAPPING • CONSULTING
WWW.RUTZENSURVEY.COM 715-891-0735

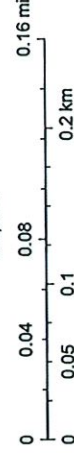
Adams County Web Map



12/18/2023. 12:10:43 PM

-  Parcels
 Property Addresses
 Roads
 Other
 PLS Quarter Sections
 PLS Quarter Sections
 PLS Section
 Municipal Boundary

1:4,514



Ayres Associates, Esri Canada, Esri, HERE, HERE, Garmin,
INCREMENT P, USGS, EPA, USDA



From: Mike Irwin <dcmlandscaping@yahoo.com>

Sent: Tuesday, March 26, 2024 7:15 AM

To: Taylor Owczynsky <owczynsky@romewi.com>

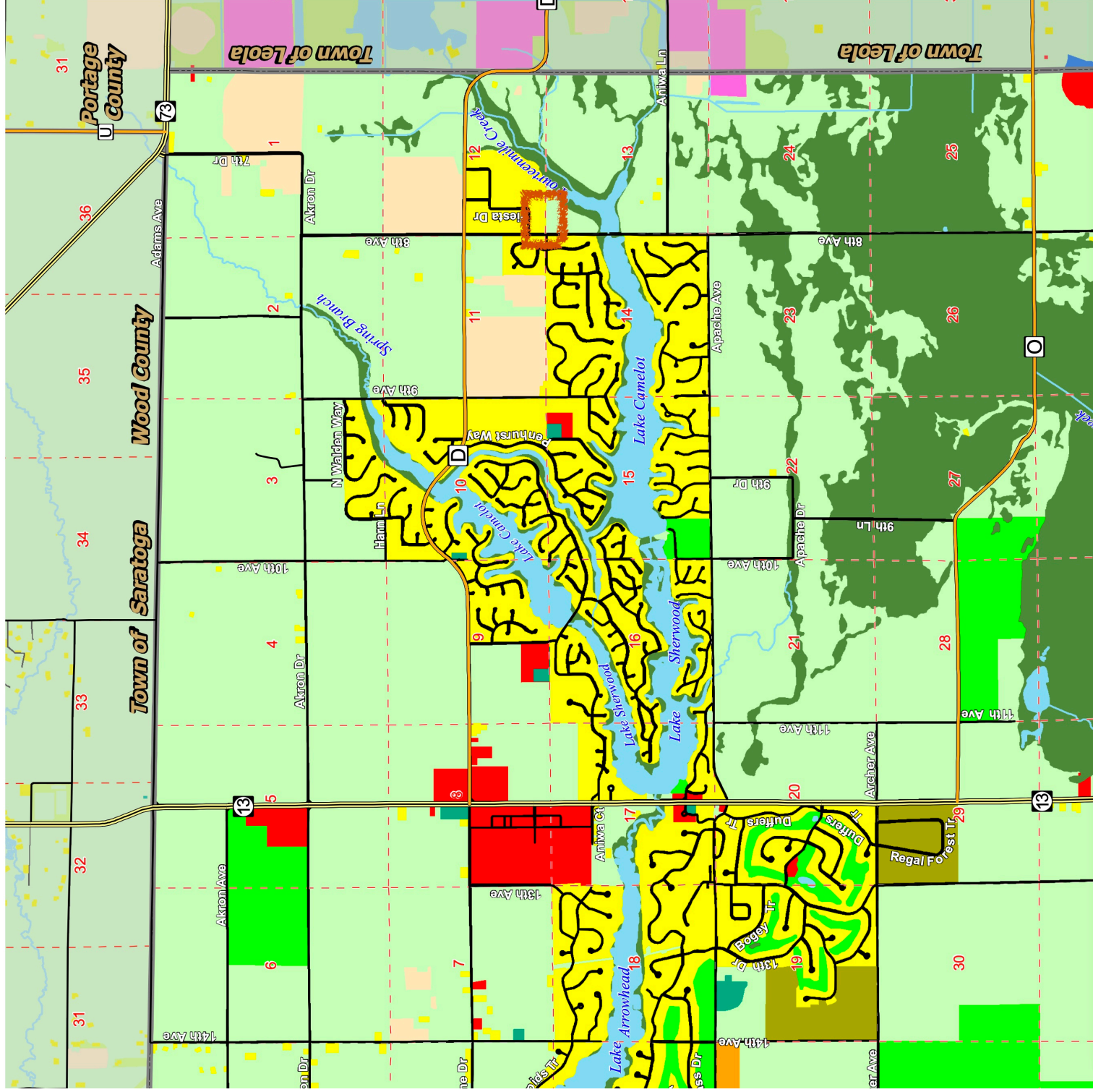
Subject: RE: Petition for Zoning Map Amendment

I give permission to rezone the property of .5 acre to Brian and his wife to purchase. Once approved we will have the title company take care of it getting it ready to register. Please proceed for approval on the 9th of April. Sincerely Mike and Amanda Irwin

[Yahoo Mail: Search, Organize, Conquer](#)

Town of Rome, Adams County

Map 9 Future Land Use



Legend

- State Highways
- County Highways
- Local Roads
- Minor Civil Divisions
- Section Lines
- Agriculture
- Commercial / Business
- Preservation
- Governmental / Public
- Outdoor Recreation
- Residential
- Rural Residential
- Multi-Family
- Forestry
- Transportation
- Cranberry Bog
- Water



Source: NCWRPC, WI DNR, Adams Co

Chapter 360, Zoning
Article III, General Regulations

§ 360-10 Accessory uses and structures.

- A. Accessory buildings, structures and uses shall be compatible with the principal uses and shall not be established prior to the principal use, except that sheds of 150 square feet or less with a maximum height of 10 feet and a maximum roof overhang of 16 inches, and unroofed decks not exceeding 400 square feet in size, are permitted in any district before the principal structure is present. Permitted sheds erected before the principal structure is present shall not be used as a place of human habitation. Mobile/manufactured homes, campers, truck bodies or trailers, buses and similar items are prohibited for use as accessory buildings. All accessory buildings and structures shall be maintained structurally and kept in good repair. Outside appearance shall be maintained so as not to become a nuisance to the neighborhood. **[Amended 2-16-2023 by Ord. No. 23-03]**
- B. The following items and structures are not permitted in nonagricultural zoning districts prior to construction of a principal structure: gazebos exceeding 150 square feet in area, pergolas, satellite dishes larger than 36 inches in size, fuel tanks, except LP tanks not exceeding 60 pounds that are part of the affixed and secured equipment of a camping unit, air conditioners, antennas, towers, exterior heating systems or similar appurtenances or equipment. **[Amended 2-16-2023 by Ord. No. 23-03]**
- C. Outdoor fuel burners, including wood stoves, used as an interior heating system are not allowed in the Lake District or in any residential subdivision in which the average parcel size is two acres or less.
- D. Canopies. **[Amended 2-16-2023 by Ord. No. 23-03]**
- (1) Temporary use. In all districts, a canopy may be erected on a temporary (10 consecutive days or less) basis for family gatherings, rummage sales, special events and similar occasions. In such case, a permit is not required and the canopy must be dismantled and removed upon conclusion of the temporary use; provided, however, that a canopy may not be erected on a property for more than 20 days in a calendar year. While erected, the location of the canopy must comply with all setback requirements for structures in the applicable zoning district.
- (2) Permanent use. Canopies may only be erected on a permanent basis pursuant to the following requirements:
- (a) Lake District and recorded residential subdivisions. In the Lake District and any recorded residential subdivision, canopies may only be used atop a boat lift that is located at least partially in a body of water, provided that the canopy roof is made of a nonrigid material. Canopy roofs may not be constructed of wood, fiberglass, metal or any other rigid material.
- (b) Business District. In the Business (B-1) District, canopies that meet the criteria of an accessory use pursuant to this section may be erected upon issuance of a permit. Canopies with a floor area 120 sq. ft. or less require the issuance of a zoning permit. Canopies with a floor area greater than 120 sq. ft. shall require a building permit and zoning permit. Canopies used for events, exhibitions or assembly shall comply with the standards for recognized safe practices within § 191-13. The location of any canopy permitted under this subsection must comply with all setback requirements for structures in the applicable zoning district.
- E. Freestanding and detached carports are not permitted in any zoning district. **[Added 2-16-2023 by Ord. No. 23-03]**



Town of Rome
Nekoosa, WI 54457
www.romewi.com

**MINUTES
TOWN OF ROME PLAN COMMISSION PUBLIC HEARING
AND REGULAR MEETING**

TUESDAY, FEBRUARY 14, 2023

4:00 PM

**ROME MUNICIPAL BUILDING
1156 Alpine Drive
Nekoosa, WI 54457**

1. Call to Order
The meeting was called to order by Chairman Mike Baker at 4:00 p.m.
2. Roll Call
Plan Commissioners present: Mike Baker, Daniel Gohmann, Jerry Wiessinger, Paul Janczak, Diana Duelge and Lori Djumadi. Commissioner Jeffrey Williams was excused. Also present: Attorney Nicholas Flanagan, Town Administrator Jami Gebert and Zoning Administrator Emily Zeddies. Nicholas Vilione and Robert Cook regarding items 7a & 11; Kevin Cole (by telephone) regarding items 7d & 14.
3. Certify Posting of Meeting
Emily Zeddies certified the agenda was posted at the following locations:

Rome Municipal Building at 4:20 p.m. on January 31, 2023
Kwik Trip at 4:25 p.m. on January 31, 2023
Nekoosa Port Edwards State Bank at 4:29 p.m. January 31, 2023
The agenda was emailed to the Wisconsin Rapids Daily Tribune on January 31, 2023 at 1:42 p.m.
The agenda was emailed to Town web services on January 31, 2023 at 2:26 p.m.
The public hearing notice was printed in the Wisconsin Rapids Daily Tribune for publication in the legal section on January 31 and February 7, 2023.
4. Approve the Agenda
Motion by Wiessinger/Janczak to approve the agenda. Motion carried.
5. Citizen Comments – During the Citizen Comment period of the agenda the Plan Commission welcomes comments from any town resident, not a member of the Commission, on any item not on the agenda. Please know that pursuant to State law the Commission cannot engage in conversation with you but may ask questions. The Commission may refer the item to staff, a standing committee or a future Plan Commission agenda for discussion and action. Each person wishing to speak will have up to 3 minutes to speak. Speakers are asked to submit a card to the Chair providing their name, address and topic for discussion
 - a. The Commission will also take comment from the public on agenda items as called by the Chair, but not during Citizen Comment. Please note that once the Commission begins discussion on an agenda item no further comment will be allowed from the public on that issue

NO ACTION CONTEMPLATED EXCEPT POSSIBLE REFERRAL TO FUTURE AGENDA:

6. Information Updates, Recent Correspondence, Current Events, Announcements.
Chairman Baker announced the Lake Camelot Fisheree is being held on upper Camelot on Saturday, February 18th, from 10:00 a.m. to 3:00 p.m.
7. Open Public Hearing
There were 2 members of the public present.

- a. Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 1470 Raindance Tr, owned by VIC's Arrowhead LLC, also described as lot 26 of White Eagle Addition to Lake Arrowhead, located in SE ¼, NW ¼, Section 13, Town 20N, Range 05E, Town of Rome, Adams County, WI, with a parcel number of 030-04713-0327

Nicholas Vilione and Robert Cook owners of VIC's Arrowhead LLC were in attendance to answer any questions. Stated that they purchased this property in 2019 and because their children are getting older, they don't use the property as much. They are requesting a Conditional Use Permit for a short-term rental.

Questions from commissioners and public as follows:

Q: Since this is a lakefront property, will renters have access to the use of a boat?

A: No. We do not want the liability of boat usage.

Q: Do you have a property manager within the required 25 miles?

A: We do not envision renting this property this spring, so we are in the process of acquiring a property manager and a cleaning service.

Property owners were advised that a requirement of the Conditional Use Permit being approved is that a property manager needs to be in place before first rental occurs.

No further questions from commissioners or public.

- b. Consideration of proposed amendments to Chapter 360 (Zoning), residential zoning district requirements regarding Roof Pitch

Zoning Administrator Zeddies indicated that included in commissioners' meeting packets is a list of communities with their roof pitch regulations and a comparison of different roof pitches. The draft language for the roof pitch amendment would make all residential zoning districts consistent with a minimum 3/12 roof pitch.

No further questions from commissioners or public.

- c. Consideration of proposed amendments to Chapter 360 (Zoning), residential zoning district requirements regarding Accessory Structures

Zoning Administrator Zeddies indicated that included in commissioners' meeting packets is updated draft language from the Joint CDA and Plan Commission Sub-committee as it pertains to Accessory Structures. Also included, are picture descriptions for each accessory structure type.

No further questions from commissioners or public.

- d. Consideration of a site plan/plan of operation for Kevin Cole, for the property located on CTH Z, also described as Lot 1 of CSM 6703 located in part of Gov Lot 2 and Gov Lot 7, Section 2, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-000047-0085

Zoning Administrator Zeddies stated this conditional use was originally approved in 2016 with the condition that Mr. Cole return to the Plan Commission with a more detailed site plan before the start of the project. This business would fall under the conditional use "Campground" in B-1 Business District. Since 2016, there as been a number of land divisions, so the address has changed. Included in commissioners' meeting packets are the following documents: minutes from the July 12, 2016 meeting, a site plan and maps from the original application, required Adams County permits which include a Special Exemption Permit, Storm Water Runoff Permit, Sanitation Permit and a copy of the water testing that was provided to Adams County. Adams County is waiting for the Town of Rome's approval of the site plan/plan of operation before they add the Special Exemption Permit to their agenda for approval.

The proposed campground will consist of four camping sites.

Kevin Cole the property owner was in attendance by phone to answer any questions.

Commissioner Wiessinger stated that he was under the impression that per Adams County any dredging of ponds would require the soil be removed from the area.

Mr. Cole stated that he received approval to dredge the ponds back in 2015 and that 120 truck-loads of soil were removed and deposited on the property north of Romano's.

Q: On your sanitation application, are all four camping sites going to share the same system?

A: There will be two sanitation systems, with two campers on each system.

Q: Have you been working with the State in regards to applying for a Campground License?

A: No, I am waiting for Town Board approval before I go any further.

Attorney Flanagan stated that per Town Ordinance the town cannot issue a campground license for which a permit has not been issued by the State of Wisconsin.

Q: Do you have a plan in place regarding refuse control/disposal?

A: Dumpsters are located on the south side of the driveway and will be picked up Adams County weekly.

Q: Could we include the requirement for proper refuse disposal as a condition of approval for the site plan/plan of operation?

A: Per Attorney Flanagan, yes it can be added as a condition of approval.

Q: The acreage on the town application is .649 acres on the county application it is .524 acres. Why is there a discrepancy in the acreage involved?

A: There is a lot across the road on the lake side where we plan to have four boat slips, one for each campsite.

Q: Is there a possibility to allow for seasonal campers that would be able to camp year-round?

A: Yes. We are looking to accommodate campers that are snow birds, 55 and older, looking to have their own little camping community.

Q: With that being said, you do not plan on any type of age restriction.

A: No

Commissioner Baker indicated that Mr. Cole's application had a photo of the proposed sign for the campground. He wanted to make Mr. Cole aware that he is required to submit a sign permit application.

No further questions from commissioners or public.

8. Close Public Hearing

Motion by Duelge/Gohmann to close the public hearing. Motion carried.

DISCUSS AND POSSIBLE ACTION ON THE FOLLOWING ITEMS:

9. Discussion and possible action - Meeting minutes from Tuesday, January 10, 2023

Motion by Wiessinger/Gohmann to approve the minutes with the correction to Item #19, next meeting date: change 2022 to 2023. Motion carried.

10. Discussion and possible action – Joint Community Development Authority (CDA) and Plan Commission Sub-Committee meeting minutes from Tuesday, January 10, 2023

Attorney Flanagan indicated that the minutes from the January 10th, 2023 meeting bring to an end the Joint Community Development Authority (CDA) and Plan Commission Sub-Committee.

Motion by Baker/Gohmann to approve the minutes as printed. Motion carried.

11. Discussion and possible action - Consideration of the issuance of a Conditional Use Permit for the following purpose: the short-term rental at the property located at 1470 Rain Dance Tr, owned by VIC's Arrowhead LLC, also described as lot 26 of White Eagle Addition to Lake Arrowhead, located in SE ¼, NW ¼, Section 13, Town 20N, Range 05E, Town of Rome, Adams County, WI, with a parcel number of 030-04713-0327

Motion by Gohmann/Wiessinger to grant the request for conditional use permit for short-term rental at the address of 1470 Rain Dance Tr and to approve the findings of fact. The following term and conditions were placed on approval:

- a. The conditional use permit shall remain valid indefinitely provided the homeowner holds a short-term rental license from the Town of Rome.
- b. Maximum rental occupancy shall be set at twelve.
- c. Maximum number of vehicles shall be set at six. Vehicles to be parked on hard surfaces, not on the lawn/grass, at the property.
- d. Property Manager within 25 miles of the property and contact information on file with the Town.

Motion carried.

12. Discussion and possible recommendation to the Town Board – Consideration of proposed amendments to Chapter 360 (Zoning), residential zoning district requirements regarding Roof Pitch
Motion by Wiessinger/Djumadi to recommend to the Town Board approval of the proposed amendments to Chapter 360 (Zoning) to make all residential zoning districts consistent with a minimum 3/12 roof pitch.
Motion carried.

13. Discussion and possible recommendation to the Town Board – Consideration of proposed amendments to Chapter 360 (Zoning), residential zoning district requirements regarding Accessory Structures

Motion by Wiessinger/Gohmann to recommend to the Town Board approval of the proposed amendments to Chapter 360 (Zoning) as it pertains to residential zoning district requirements regarding Accessory Structures.
Motion carried.

14. Discussion and possible recommendation to the Town Board – Consideration of a site plan/plan of operation for Kevin Cole, for the property located on CTH Z, also described as Lot 1 of CSM 6703 located in part of Gov Lot 2 and Gov Lot 7, Section 2, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-000047-0085
Motion by Baker/Wiessinger to recommend to the Town Board approval of a site plan/plan of operation for Kevin Cole, for the property located on CTH Z, and to adopt the findings of fact noting the amendment to campground. The following conditions were placed on approval:
a. Securing of Town of Rome campground license
b. Sign permit requirement
c. Provide adequate collection and containment of refuse so as not to cause a nuisance
Motion carried.

15. Discussion and possible referral to Town Board – Approval of Joint Community Development Authority and Plan Commission Sub-Committee updates of the Comprehensive Plan objectives to be forwarded to the North Central Wisconsin Regional Planning Commission (NCWRPC) for a plan update

Town Administrator Gebert stated that Dennis Lawrence of North Central Wisconsin Regional Planning Commission requested that in our formal minutes we document that the Plan Commission has reviewed the updates to our goals/objectives and agrees with the changes. NCWRPC would then make the amendment. It would still have to come back in the approval process of a Comprehensive Plan. Zoning Administrator Zeddies indicated the Future Land Use Map will be updated soon to reflect all of the changes that have been made. Attorney Flanagan noted that Comprehensive Plans need a 30-day legal notice, so this may need to be referred to a future agenda for a public hearing.

Motion by Baker/Gohmann that the minutes of this meeting reflect the approval of the Joint Community Development Authority and Plan Commission Sub-Committee updates to our goals, objectives and policies, to be referred to the North Central Wisconsin Regional Planning Commission to provide the finished document, and refer to future agenda for public hearing. After the public hearing It would then be an agenda item for approval by the Town Board.

Comments and suggestions from commissioners:

Chapter 2:

Objective 2, Policy 1, change Visit Rome to Visit Rome WI

Chapter 3:

Objective 2, Policy 5, spelling error, change the word "too" to "to"

Discussion on Chapter 3, Objective 3, Policy 3, regarding density issues as it pertains to duplexes and other multi-family units.

Chapter 4:

Objective 4, Policy 1, last sentence remove "on weekends".

Objective 4, re-number second Policy 1 to Policy 2, and second Policy 2 to Policy 3.

Chapter 5:

Discussion on Objective 1, Policy 3 regarding the need to coordinate with grants committee.

Chapter 7:

Discussion on Objective 2, Policy 6: Identify lands for future acquisition for the county forest program.

Chapter 8:

Objective 2, Policy 1, remove "fire and ambulance services".

DATES AND ITEMS FOR FUTURE AGENDA/MEETINGS

16. Next agenda items:

- a. Site Plan/Plan of Operation Amendment
- b. Proposed amendments to Chapter 360, (Zoning) Article VIII regarding R-2 One- and Two-Family and Manufactured Dwelling Residence District regarding camping units
- c. Proposed amendments to Chapter 360 (Zoning), Article IX regarding R-3 Multifamily Residence District regarding Condominiums
- d. Discussion only - Review of Public Property Memorial Placement Policy

17. Next meeting date and time: March 14, 2023 at 4:00 PM

ADJOURNMENT

Motion by Chairman Baker to adjourn at 5:26 p.m. Motion carried.

"Speak Your Peace" Commitment – A reminder that the Town Board Members have adopted the Nine Tools of Civility which commits the Board Members and Public to be mindful of how we treat each other at meetings.

Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin.

The Plan Commission may take action on any item on the agenda. It is possible that the members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the Plan Commission.



Town of Rome
Nekoosa, WI 54457
www.romewi.com

TOWN OF ROME BOARD MEETING MINUTES

THURSDAY, FEBRUARY 16, 2023

5:00 P.M.

1. Call to Order

Chairman Carl Hasdal called the meeting to order at 5:00 p.m.

2. Roll Call

Present: Chairman Carl Hasdal; Supervisors Bob Baurhyte, Dan Gohmann, Lori Djumadi and Daniel Minter; Administrator Jami Gebert; Clerk/Treasurer Amy Reuteman

3. Certify Posting of Meeting

Amy Reuteman certified that on, Monday, February 13, 2023, the Agenda for the Town of Rome Board meeting for Thursday, February 16, 2023 was posted at:

<i>Emailed to the Wisconsin Rapids Tribune</i>	<i>3:16 p.m.</i>
<i>Posted at the Rome Town Hall</i>	<i>3:20 p.m.</i>
<i>Posted at Kwik Trip, LLC</i>	<i>3:59 p.m.</i>
<i>Posted at Nekoosa Port Edwards State Bank</i>	<i>4:03 p.m.</i>

4. Approve the Agenda

Motion by Gohmann/Baurhyte to approve the agenda. Motion carried.

5. Pledge of Allegiance

6. Citizen Comments – During the Citizen Comment period of the agenda the Town Board welcomes comments from any town resident, not a member of the Town Board, on any item not on the agenda. Please know that pursuant to State law the Board cannot engage in conversation with you but may ask questions. The Board may refer the item to staff, a standing committee or a future board agenda for discussion and action. Each person wishing to speak will have up to 3 minutes to speak. Speakers are asked to submit a card to the Clerk/Treasurer providing their name, address and topic for discussion

The board will also take comment from the public on agenda items as called by the Chair, but not during Citizen Comment. Please note that once the board begins discussion on an agenda item no further comment will be allowed from the public on that issue

No comments.

NO ACTION CONTEMPLATED EXCEPT POSSIBLE REFERRAL TO FUTURE AGENDA:

7. Information Updates, Meeting Recaps, Recent Correspondence, Current Events, Announcements

Supervisor Dan Minter stated that the public should check the Town and Library websites for open library positions. Supervisor Dan Gohmann mentioned that there will be a fisherie this weekend at Lake

Camelot and stated that they are telling people not to drive any motorized vehicles on the lake. Supervisor Bob Baurhyte stated that he attended the Mid-State Technical College Culinary Program graduation. Visit Rome contributed \$40,000.00 for students to attend this program. Supervisor Baurhyte also stated that in 2023 Visit Rome will allocate \$100,000.00 to workforce development. Administrator Jami Gebert stated that the \$40,000.00 from Visit Rome was from a Workforce Development grant that they received. She also stated that the Adams County Manager/Administrative Coordinator, Cindy Haggard, was at the White House today. Camping permits are now available to purchase either online or in person and can be purchased with a credit card. There are seats available for the Heart of Wisconsin Chamber of Commerce's 75th Annual Meeting and Awards Banquet if Board Members are interested.

8. Department and Committee Reports

- | | |
|--|---|
| <input type="checkbox"/> Administration | <input type="checkbox"/> Rome Police Department |
| <input type="checkbox"/> EMS District/Lifestar | <input type="checkbox"/> Rome Public Works Department |
| <input type="checkbox"/> Lester Public Library of Rome | <input type="checkbox"/> Rome Water Utility |
| <input type="checkbox"/> Police and Fire Commission | <input type="checkbox"/> Visit Rome, WI |
| <input type="checkbox"/> Rome Fire Department | <input type="checkbox"/> Zoning Department |

DISCUSS AND POSSIBLE ACTION ON THE FOLLOWING ITEMS:

9. Discussion and action – Approval of the February 2, 2023 meeting minutes

Motion by Djumadi/Baurhyte to approve the February 2, 2023 meeting minutes. Motion carried.

10. Discussion and action – Checks, Vouchers, Receipts and Journal Entries - approve checks #44927 – 45013 totaling \$6,079,606.39; Auto-payments totaling \$102,986.71; State / Social Security / Medicare / Withholdings totaling \$36,301.65; Payroll Vouchers V19958 – V20060 totaling \$93,497.46 and checks 21653 totaling \$1,029.95; Receipts #24226 – 24297 totaling \$6,785,777.76

Motion by Gohmann/Baurhyte to approve as presented. Motion carried.

11. Discussion and possible action – Approval of Ordinance No. 23-02; Recommendation from the Plan Commission on proposed amendments to Chapter 360 (Zoning), Articles VI, VII, IX, X, XI, XII, XIII, XIV, and XV, requirements regarding Roof Pitch in the R-1, R-1C, R-3, R-4, R-5, LD, LA, A-1 and A-2 Zoning Districts

Attorney Nicholas Flanagan explained that the current roof pitch requirements in most districts is 4/12 and recently the Town has been asked for a different pitch. Plan Commission held a public hearing and the Commission then recommended approval of these amendments.

Motion by Gohmann/Djumadi to approve Ordinance No. 23-02; Recommendation from the Plan Commission on proposed amendments to Chapter 360 (Zoning), Articles VI, VII, IX, X, XI, XII, XIII, XIV, and XV, requirements regarding Roof Pitch in the R-1, R-1C, R-3, R-4, R-5, LD, LA, A-1 and A-2 Zoning Districts. Motion carried.

12. Discussion and possible action – Approval of Ordinance No. 23-03; Recommendation from the Plan Commission on proposed amendments to Chapter 360 (Zoning), Articles II, III, VI, VII, VIII, IX, and XII, definitions, general regulations and residential zoning district requirements regarding Accessory Structures

Attorney Flanagan gave background and clarity on this item. The Joint subcommittee has reviewed this ordinance and has recommended the changes to the Plan Commission which is now referred to the Town Board for approval after considering it at two meetings.

Motion by Djumadi/Gohmann to approve Ordinance No. 23-03; Recommendation from the Plan Commission on proposed amendments to Chapter 360 (Zoning), Articles II, III, VI, VII, VIII, IX, and XII, definitions, general regulations and residential zoning district requirements regarding Accessory Structures.

Chairman Hasdal stated that he would like to require that all submittals be to scale. Supervisors Baurhyte and Djumadi did not think that would be necessary. Discussion regarding to scale drawings will be brought to Plan Commission.

Motion carried with Hasdal opposed.

13. Discussion and possible action – Recommendation from the Plan Commission regarding consideration of a site plan/plan of operation for Kevin Cole, for the property located on CTH Z, also described as Lot 1 of CSM 6703 located in part of Gov Lot 2 and Gov Lot 7, Section 2, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-000047-0085

Attorney Flanagan explained that there are four seasonal rental sites with corresponding boat slips. A public hearing was held at the Plan Commission meeting at which they recommended approval with the following conditions:

- 1. Obtain a Town of Rome Campground license, which requires a State License be issued prior to the Town issuing of a license.*
- 2. Obtain a sign permit from the Town of Rome.*
- 3. There must be a location to provide adequate refuse collection and containment.*

Motion by Gohmann/Baurhyte to approve the recommendation from the Plan Commission regarding consideration of a site plan/plan of operation for Kevin Cole, for the property located on CTH Z, also described as Lot 1 of CSM 6703 located in part of Gov Lot 2 and Gov Lot 7, Section 2, Town 20N, Range 06E, Town of Rome, Adams County, WI, with a parcel number of 030-000047-0085. Motion carried.

14. Discussion and possible action – Approval of Mobile Device Forensic Services Agreement with Wood County Sheriff's Department

Motion by Gohmann/Djumadi to approve of Mobile Device Forensic Services agreement with the Wood County Sheriff's Department. Motion carried.

15. Discussion and possible action – Approval of the Public Works 2023-2027 Road Improvement Plan for the 2023 Local Roads Improvement Program (LRIP) application

Motion by Baurhyte/Gohmann to approve the Public Works 2023 – 2027 Road Improvement plan for the 2023 Local Roads Improvement Program (LRIP) application. Motion carried.

16. Discussion and possible action – Review of timeline and estimate to complete Timberline Parkway extension in Rome Town Center

Administrator Gebert explained that the road expansion estimate is \$303,000 and the Water Utility estimate is \$90,400. The Town has already spent \$10,300 with General Engineering. This has all been approved in the 2023 Budget.

17. Discussion and possible action – Approval to request consideration from the Town of Saratoga for transfer of a Reserve “Class B” Liquor License

Administrator Gebert explained the process and history of this item. Motion by Gohmann/Djumadi to approve requesting consideration from the Town of Saratoga for the transfer of a Reserve “Class B” Liquor License. Motion carried.

18. Discussion and possible action – Approval of Ordinance No. 23-04; amending Ch. 287, (Property Maintenance), Article II Lawn Fertilizer Application, Sec. 287-5, Purpose and Intent

This Ordinance change is a request from Tri-Lakes. Motion by Baurhyte/Gohmann to approve Ordinance 23-04; amending Ch. 287, (Property Maintenance), Article II Lawn Fertilizer Application, Sec. 287-5, purpose and intent. Motion carried.

19. Discussion only – Review of timeline to completion and budget for the Rome Town Center Bandshell/Pavilion

Administrator Gebert outlined the memo in the packet including revenues, expenses and awarded agreements including payments to date. A calendar to finalize construction on the bandshell was also in the packet.

20. Discussion and possible action – Continue conversation on safety concerns, property damage, lakebed soil disruption and shoreline erosion caused by wake manipulation devices on Lake Camelot, Sherwood, and Arrowhead specific to:

- a. Review draft postcard for input survey

Administrator Gebert included a draft of the postcard that she created which includes a link to the website for participants to get more information. The postcard will also have the link to the survey on it. Chairman Hasdal will look at the Minnesota and Presque Isle studies.

DATES AND ITEMS FOR FUTURE AGENDA/MEETINGS

21. Next agenda items

*Nekoosa School District presentation
Contagious and infectious disease policy*

22. Next meeting date and time

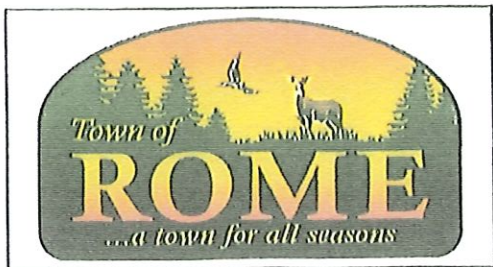
March 2, 2023 – 5:00 p.m.

ADJOURNMENT

Motion by Gohmann/Hasdal to adjourn at 6:07 p.m. Motion carried.

Respectfully submitted,

Amy Reuteman
Clerk/Treasurer



Planning and Zoning Department
1156 Alpine Drive
Nekoosa, WI 54457 zoning@romewi.com
Phone: 715 325 - 8019
Fax: 715 325 - 8035 www.romewi.com

PETITION FOR CONDITIONAL USE PERMIT

FEE: \$300.00⁽¹⁾

⁽¹⁾ If the applicant does not appear or is not represented at the public hearing, the petition may be denied or tabled and the applicant may be requested to pay another application fee to reschedule the hearing.

Office use:

File # _____ Date received 3-11-24
Fee \$ 30 Check # 5022
Parcel # 030-05137-000 Total acres (sq. ft.) 39

Attach plot plan or location sketch showing the entire land parcel including the location, boundaries, uses and sizes of the following: subject site, existing and proposed structures, street rights-of-way, easements, alleys, off-street parking, loading areas, road access points, driveways and all other pertinent features.

Applicant:

Name of Owner John & Christie Hotz
Mailing Address 606 Oakwood Dr.
Hartland WI 53029
Phone 262-269-8038

Property Location / Description:

SE $\frac{1}{4}$ SW $\frac{1}{4}$ Sec. 15 T 20 N R 6 E
Lot _____ Block _____ Addition _____
Subdivision or CSM Chatham
Address 967 Mansfield Ct. Nekoosa, WI 54457

Current zoning and use:

The total area of the property is 0.39 acres and is currently zoned as: Res district of the Rome Zoning Ordinance.

Current use is: Vacation Home looking to short term Rental if when approved

Proposed Conditional Use:

Proposed Conditional Use is: Short term Rental

Proposed Conditional Use conforms to the standards set forth in code sec. 360-27G because:

Potential Public Benefit of the proposed conditional use & potential adverse impact of the proposed conditional use, after taking into consideration of the appropriate proposal & any requirements

Proposed term (duration) of Conditional Use: 5 years

⁽²⁾ The applicant's signature on this form grants consent for Dept. staff and Plan Commissioners to enter the property for inspection related to this application. Said consent does not include consent to enter a dwelling or other structure on the property. Furthermore, the undersigned hereby applies for the conditional use requested above and states that the information on this application and the attached documents are accurate. The application must be signed by all property owners of record. If an agent is to sign the application, written proof of authority is required to accompany the application. If the property is in a Trust, the Trustee must sign the application, and provide proof of trustee authority. If needed, obtain a **TRUST INFORMATION form** from the Planning and Zoning Department. The application must be complete including an address and phone number where someone can be reached for questions or information.

Christie Hotz

Landowner signature ⁽²⁾

Date

3/6/24

Office notes: _____

FINDINGS OF FACT:

- 1) A full and complete application was filed by John and Christie Hotz, and received March 11, 2024 (herein referred to as "Application") seeking a Conditional Use Permit for 967 Mansfield Ct., also described as Lot 2 of Chatham Addition to Lake Camelot, located in the SE1/4, SW1/4, Section 15, Town 20N, Range 06E, Town of Rome, Adams County, WI with a parcel number of 030-05137-0000.
- 2) The Conditional Use request is to allow short-term rental (7 consecutive days to 29 consecutive days in duration) at the property.
- 3) The property is zoned LD (Lake District), as defined in Chapter 360 of the Town of Rome's Ordinance.
- 4) Town of Rome Ordinance 360-61 requires a Conditional Use Permit for short-term rental of single-family dwellings, so that conditions may be imposed as are necessary to protect the residential character of the applicable neighborhood.
- 5) The Town of Rome Planning Commission duly set this matter upon the agenda of a public meeting and considered the above-described application with the public hearing a matter of record of the Planning Commission meeting of April 9, 2024.
- 6) At the public hearing on the Application held by the Town of Rome Plan Commission on April 9, 2024, evidence and testimony was presented by the Applicant, and all interested persons were allowed an opportunity to speak, a full and complete record of which will be detailed in the minutes of the Plan Commission.
- 7) At the conclusion of the public hearing, after consideration and discussion of the application, public comments, and the report received by staff, the Planning Commission, upon a motion duly seconded, approved the request for the Conditional Use Permit, and the following findings were found by the Plan Commission:
 - a. The conditional use conforms with the standards of the applicable district in which it is located.
 - b. The establishment, maintenance or operation of the proposed use will not be detrimental to or endanger the public health, safety or general welfare of the occupants of surrounding lands.
 - c. The Applicant has met all of the conditions of application/issuance for a Short-Term Rental License.
- 8) The following additional conditions were placed on the approval:
 - a. Maximum occupancy shall be 5
 - b. Maximum number of vehicles shall be 2, to be parked on hard surfaces, not on lawn/grass.
 - c. Property manager within 25 miles of the residence on file with the Town.

The Town of Rome Planning Commission hereby recommends approval of the Conditional Use Permit request submitted by John and Christie Hotz, for short-term rentals of 7 consecutive days or longer at parcel # 030-05137-0000.

The following additional conditions were placed on the approval:

1. _____
2. _____

The term of the conditional use shall be indefinite, as long as the current property owner holds a Town of Rome Short-Term Rental License.

Planning Commission Chair: _____ Date: _____

Planning Commission Secretary: _____ Date: _____

By signing, Applicant agrees to comply with all conditions placed on approval. Applicant further understands that failure to comply with the stated conditions may result in the termination of the Conditional Use Permit.

Signature of Owner/Applicant: _____ Date: _____

Signature of Owner/Applicant: _____ Date: _____

Note: if Owner is other than Applicant and is unable to sign, please attach written authorization from Owner allowing Applicant to sign on their behalf.

BADGER - LAND SURVEY, LLC

2610 WEST GRAND AVE.
WISCONSIN RAPIDS, WI. 54495

BADGER-LAND SURVEY, LLC

PHONE: (715) 424-5900
FAX: (715) 424-5901
E-MAIL:

bsurvey@wctc.net
www.badgerlandsurvey.com

IF THE SURVEYOR'S SEAL IS NOT RED IN COLOR,
THIS MAP IS A COPY AND SHOULD BE ASSURED TO
CONTAIN UNAUTHORIZED ALTERATIONS. THE
CERTIFICATION DOES NOT APPLY TO COPIES.

PREPARED FOR:

CHRISTIE & JOHN HOTZ
606 OAKWOOD DR
HARTLAND WI 53029

DRAWN BY: KW

JOB#: 30723

This map DOES NOT transfer property ownership.
Sale or transfer of property requires a recorded deed.

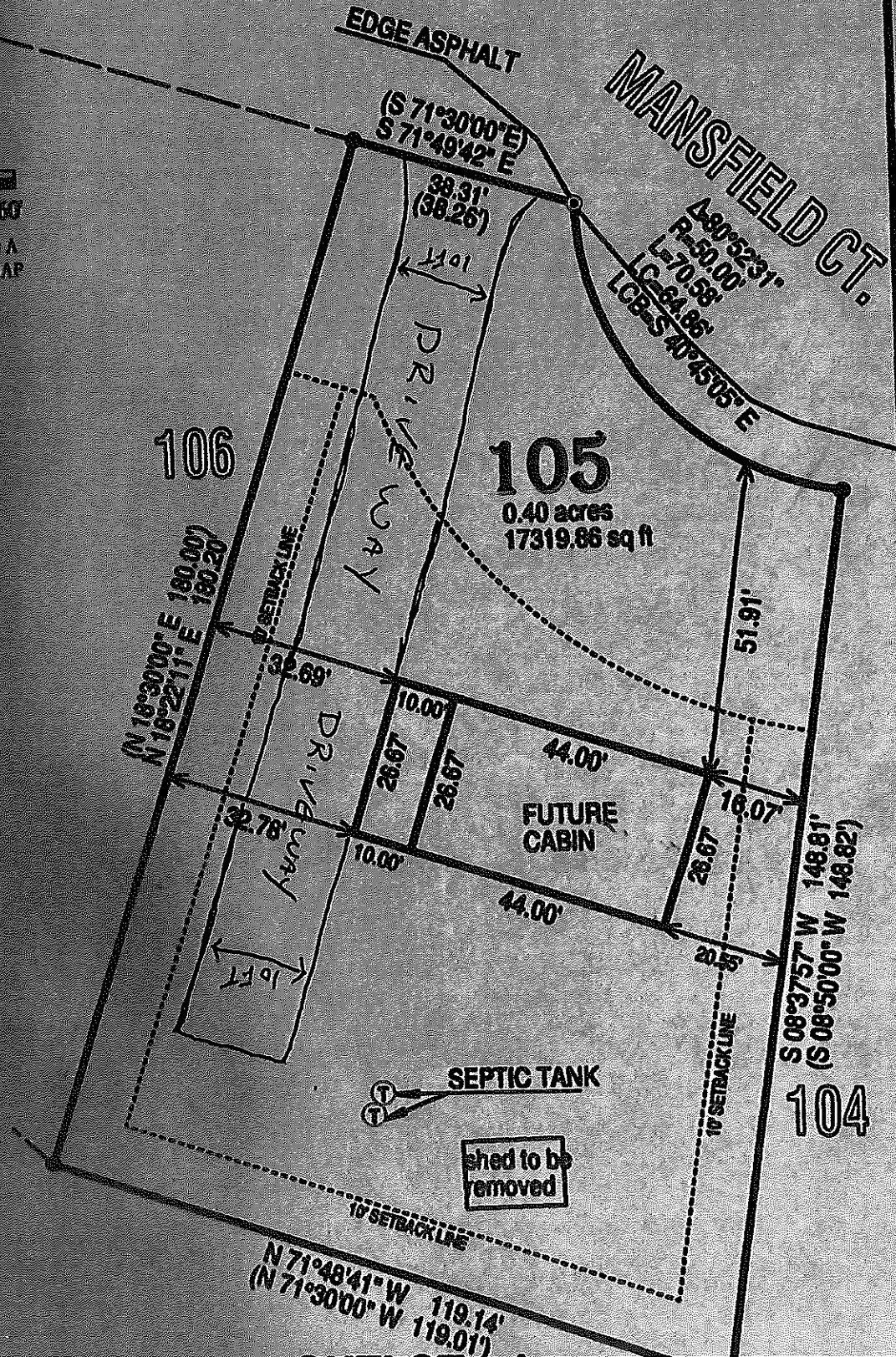
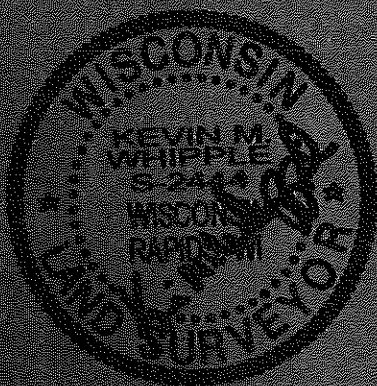
PLAN OF SURVEY

ANG LOT 105 OF CHATHAM ADDITION TO LAKE CAMELOT, LOCATED IN PART OF THE
1/4 SW 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 6 EAST, TOWNSHIP ROME,
JAMES COUNTY, WISCONSIN

- 3/4" IRON ROD FOUND
- 1 1/4" IRON ROD FOUND
- SEPTIC TANK
- () RECORDED AS

SCALE: 1" = 30'

THE WEST LINE OF LOT 105 ASSIGNED A
BEARING OF N 18°22'11" E FOR THIS MAP



1-123 s.f.
 Master-162.76 s.f.
 Living rm 212.62 s.f.
 Dining 108.4 s.f.

2 Bath(s) = 8 people
 less restrictive **5 people max**

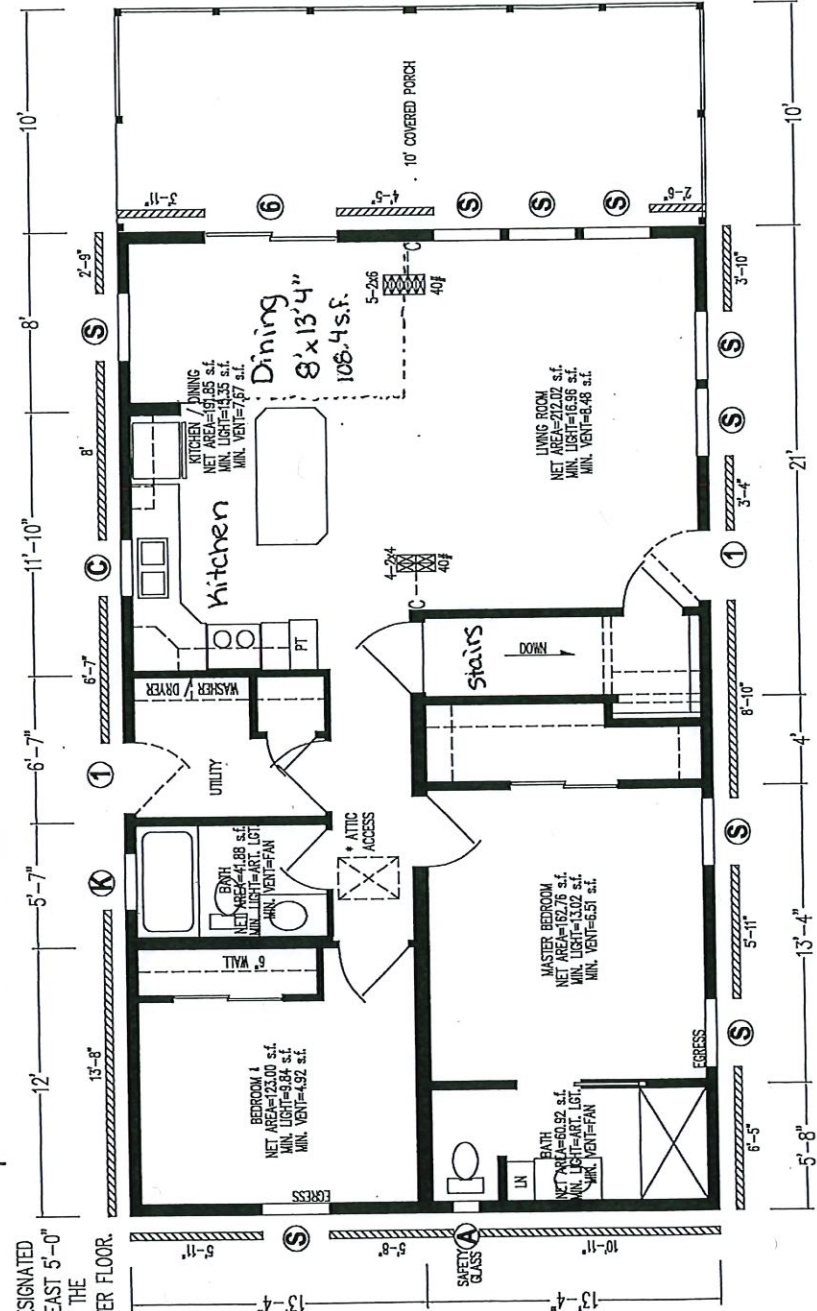
3 vehicles max

606.18 TOTAL S.F.

- 150 ①
- 100 ①
- 100 ①
- 100 ①
- 100 ①
- 100 ①

WINDOWS DESIGNATED
 ABOVE THE
 TUB / SHOWER FLOOR.

----- EXTERIOR WALL BRACING PER 410-MS-001B
 ▲ = 800 LB. MINIMUM TIE-DOWN



3/16" = 1'-0" ON 11x17		REF. WISCONSIN	
NOTES:		SKYLINE	
* 22" x 30" MIN. (NOT REQ'D WHEN ATTIC HEIGHT IS LESS THAN 30")		DRAWN BY: JM	
** RETURN AIR GRILL SIZES PER FURNACE INSTALLATION INSTRUCTIONS.		WIND ZONE	
*** 29" MIN. CLEAR OPENING		DATE: 02/20/2023	
1. Hallways to be a minimum of 36" wide.		ROOF ZONE	
2. When the furnace is located in the basement, return air shall be provided to living areas using air-tight duct materials.		SHEET	
3. Outdoor air intakes and exhausts shall have automatic or gravity dampers.		DRAWING NUMBER	
DL	N/A	WL	N/A
GL	N/A	GL	N/A
DIVISIONS		BOX LENGTH	
231 SUGARCREEK		54'-0"	
233 ARKANSAS CITY		DESCRIPTION	
235 SAN JACINTO		5428-20K-2B	
237 WOODLAND		SA236-MP	
239 OCALA			
241 LEOLA			
X 243 LANCASTER			
245 McMINNVILLE			



**OFFICE USE ONLY:**

Date Filed: _____

Amount Paid: _____ Check No.: _____

PRELIMINARY PLAT REVIEW APPLICATION

Application Plat Review Fee: 1-10 Lots = \$500; 31-50 Lots = \$750; 51+ Lots = \$1,000

One complete set of large (D Size) plans and one complete set of 11"x17" size plans are required for the initial staff preliminary plat review. After staff review and approval, a request will be made for an additional 21- 11"x17" copies. This completed application, plat review fee and drawing(s) that meet all ordinance requirements are required for the project to be added to the Planning Commission Agenda.

Proposed Subdivision Name or Property Name: SEDGE VILLAGE SOUTH*(Note: proposed name shall not duplicate the name of any plat previously recorded in Adams County)***Is the property to be subdivided within an existing subdivision?** YES

If yes, what is the existing subdivision name? SEDGE VILLAGE

Location and legal description of the property *(by Government Lot, Section, Township, Range and County):*

LOT 26, 27, AND 28, SEDGE VILLAGE, DOCUMENT NUMBER 572728, AND PART OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, ALL IN SECTION 26, TOWNSHIP 20 NORTH, RANGE 5 EAST, TOWN OF ROME, ADAMS COUNTY, WISCONSIN.

Total acreage of property *(in acres):* 29.16**Applicant's Name:** BAKER THOMPSON**Applicant's Phone Number:****Applicant's Address** *(Street Address, City, State, Zip code):***Owner's Name:** SEDGE VILLAGE LLC**Owner's Phone Number:****Owner's Address** *(Street Address, City, State, Zip code):*

573 OAK TREE LANE, NORTHFIELD, IL, 60093

Applicant is *(check one):* Owner ☒ Agent ☐ Other ☐ _____*(If applicant is not the owner, provide a letter of authorization from Owner)***Subdivision Designer/Technician:** JOE DOYLE**Designer/Technician Phone Number:**

262-408-5505

Designer/Technician Address *(Street Address, City, State, Zip code):*

600 W. VIRGINIA STREET., SUITE 601, MILWAUKEE, WI, 53204

Surveyor *(Check if same as above ☐):* DAVE GULLICKSON**Surveyor's Phone Number:**

608-821-3966

Surveyor's Address *(Street Address, City, State, Zip code):*

600 W. VIRGINIA STREET., SUITE 601, MILWAUKEE, WI, 53204

The present Owner acquired legal title to the subject property on (Date): <u>5/17/2022</u>
Grantor was: <u>WISCONSIN DUNES LLC</u>
Grantee is: <u>SEDGE VILLAGE LLC</u>
Land records reference is (Recorded Document No.): <u>571711</u>
Size of tract in acres or of existing lots, if any, in square feet: <u>38.03 ACRES</u>
<u>Lot/Outlot Information:</u> Number of lots proposed in the subdivision: <u>11</u> Number of outlots proposed in the subdivision: <u>3</u> Area of lots proposed (minimum, average and maximum): <u>MIN:1.04 ACRES, MAX:7.59 ACRES, AVG:1.83 ACRES</u>
Provide an overview of any existing legal rights-of-way or easements affecting the property (If none, write NONE): <u>NONE</u>
List existing covenants on the property (If none, write NONE): <u>NONE</u>
<u>Proposed Sanitary Facilities:</u> <u>Water</u> (check all that apply): <input checked="" type="checkbox"/> Private Well <input type="checkbox"/> Municipal Water <input type="checkbox"/> Private Distribution System. <input type="checkbox"/> Other: _____
<u>Sewage Disposal:</u> (check all that apply): <input type="checkbox"/> Municipal Sewer <input checked="" type="checkbox"/> Septic Field (Conventional) <input type="checkbox"/> Holding Tank. <input type="checkbox"/> Shallow Mound <input type="checkbox"/> Mound System <input type="checkbox"/> In Ground Low Pressure System. <input type="checkbox"/> Other: _____
Any other proposals, such as parcels of land intended to be dedicated, conveyed or reserved for public use, and the conditions proposed for such disposal and use: _____ _____ _____

CERTIFICATE	
I, the undersigned Applicant, hereby submit this information as required for a Town of Rome Preliminary Plat Review and certify that all the information and attachments herein are complete, true and correct to the best of my knowledge. I further agree to submit additional information as may be required by the Town of Rome.	
_____ Signature (Applicant)	_____ Date



March 12, 2024
Rev April 1, 2024

Attn: Taylor Owczynsky, Zoning Department
Town of Rome
1156 Alpine Drive
Nekoosa, WI 54457

Dear Ms. Owczynsky:

Attached please find the submittal documents for the Preliminary Plat and Final Plat of "SEDGE VILLAGE SOUTH". All items required and listed in the Plat check list have been included in this submittal.

SEDGE VILLAGE SOUTH will consist of 11 developable single family lots and 3 outlots. SEDGE VILLAGE SOUTH is not proposing any public improvements as a part of construction of this development. Additional information regarding use and type of residential buildings can be found within the Declaration of Covenants, Conditions, Restrictions, and Easements for Sedge Village which has been included as a part of this submittal. **The Zoning for this development is PUD Zoning.**

Concurrent with this submittal to the Town, these documents have also been submitted to the Adams County Planning and Zoning Department for their review and approval. Should you require any additional information to complete your review of this project please feel free to contact me.

Owner:

Sedge Village, LLC
attn: Michael L. Keiser
875 N. Michigan Ave., Suite 3920
Chicago, IL 60611

Land Surveyor:

Vierbicher Associates, Inc.
attn: David N. Gullickson, PLS
999 Fourier Drive, Suite 201
Madison, WI 53717

Civil Engineer:

Vierbicher Associates, Inc.
attn: John Kastner, PE
999 Fourier Drive, Suite 201
Madison, WI 53717

Sincerely,



John Kastner, PE
vision to reality

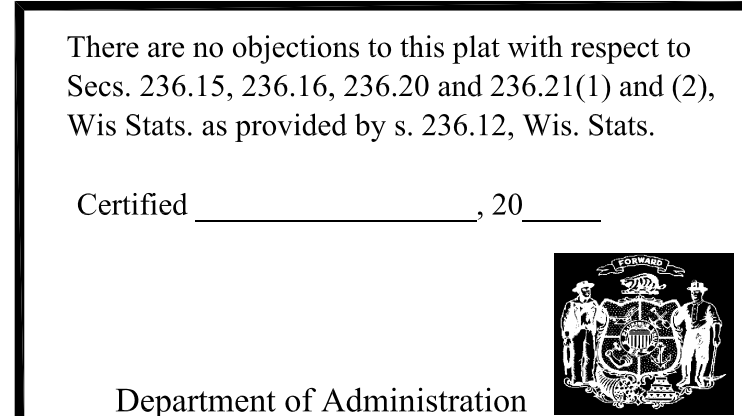
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-

BEARINGS ARE REFERENCED TO
THE WISCONSIN COUNTY
COORDINATE SYSTEM, ADAMS
CORNER, ONE OF THE
LINE OF THE SOUTHWEST QUARTER
OF SECTION 28 MEASURED AS
BEARING N89°54'58"E

GRAPHIC SCALE, FEET

0 40 80 160



<div> <div>  <div> <div>vierbicher</div> <div>planners engineers advisors</div> </div> </div> <div>  </div> </div>	Drafted by: DGUL Checked by: BROZ
	FN: 150044 Date: FEBRUARY 29, 2024
	Rev:
	Rev:
Phone: (800) 261-3898	Rev:

SURVEYED BY:
Vierbicher Associates, Inc.
By: David N. Gullickson
999 Fourier Drive,
Suite 201
Madison, WI 53717
(608) 821-3966
dgul@vierbicher.com

SURVEYED FOR:
Sand Valley South, LLC
875 N. Michigan Ave.
Chicago, IL 60661

SHEET
1 OF 2

PRELIMINARY PLAT OF SEDGE VILLAGE SOUTH

LOT 26, 27, AND 28, SEDGE VILLAGE, DOCUMENT NUMBER 572728, AND PART OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, ALL IN SECTION 26, TOWNSHIP 20 NORTH, RANGE 5 EAST, TOWN OF ROME, ADAMS COUNTY, WISCONSIN.

ADAMS COUNTY MODIFICATION APPROVAL FOR MODIFICATION REQUEST # _____, 2024

WHEREAS; The Adams County Board of Supervisors adopted the Adams County Sub-Division Ordinances in October of 1968, which was revised to the Adams County Land Division Ordinance in July of 1992, and filed with the County Clerk pursuant to the authorization contained in Section 59.69 of the Wisconsin Statutes, and

WHEREAS; On January 1, 2024 Sedge Village South, LLC – R. Baker Thompson, Manager, petitioned the Adams County Planning and Zoning Committee with a request for a Modification under §392–16 of the Adams County Land Division Ordinance to allow a private access easement as a means of access to a public street on the plat of SEDGE VILLAGE SOUTH, located in Lot 26, 27, and 28, Sedge Village, Document Number 572728, and part of the Northwest Quarter and the Northeast Quarter of the Southwest Quarter and the Northwest Quarter of the Southeast Quarter, all in Section 26, Township 20 North, Range 05 East, Town of Rome, Adams County, Wisconsin.

WHEREAS; The Planning and Zoning Committee moved to Grant the Modification Request on the plat of SEDGE VILLAGE SOUTH on this _____, day of _____, 2024.

THE ADAMS COUNTY PLANNING AND ZONING COMMITTEE DO ORDAIN AS FOLLOWS:

That the request for a Modification to §392–16: ACCESS of the Adams County Land Division Ordinance on the plat of SEDGE VILLAGE SOUTH, was GRANTED on this _____, day of _____, 2024.

Rocky Gliner, Committee Chair

ADAMS COUNTY PLANNING AND ZONING COMMITTEE

This plat, known as SEDGE VILLAGE SOUTH, is hereby approved by the Adams County Planning and Zoning Committee this _____, day of _____, 2024.

Dustin Grant, Director Zoning & Land Conservation

ADAMS COUNTY TREASURER'S CERTIFICATE

I, Jani Zander, being the duly elected, qualified, and acting Treasurer of the County of Adams, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or unpaid special assessments affecting any of the lands included in the plat of SEDGE VILLAGE SOUTH, as of this ____ day of _____, 2024.

Jani Zander, Adams County Treasurer

TOWN OF ROME TREASURER'S CERTIFICATE

As the duly appointed Town Treasurer of the Town of Rome, Adams County, Wisconsin, I hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or unpaid special assessments affecting any of the lands included in the plat of SEDGE VILLAGE SOUTH as of this _____ day of _____, 2024.

Amy Reuteman, Town of Rome Clerk/Treasurer

TOWN OF ROME – TOWN BOARD APPROVAL CERTIFICATE

Resolved, that the plat of SEDGE VILLAGE SOUTH, located in the Town of Rome, Adams County, Wisconsin, was hereby approved by the Town Board of the Town of Rome by Resolution Number _____, and that said Resolution further provided for the acceptance of those lands dedicated and rights conveyed by said SEDGE VILLAGE SOUTH to the Town of Rome for public use.

Date _____

Carl Hasdal, Town Board Chairman

I hereby certify that the foregoing is a copy of a resolution adopted by the Town Board of the Town of Rome. See Town Resolution _____.

Date _____

Amy Reuteman, Town of Rome Clerk/Treasurer

I, Amy Reuteman, being the duly appointed, qualified, and acting clerk of the Town of Rome, Adams County, Wisconsin, do hereby certify that the Town Board of the Town of Rome passed Resolution Number _____ on the _____ day of _____, 2024, authorizing me to issue a certificate of approval of the SEDGE VILLAGE SOUTH, upon satisfaction of certain conditions, and I do hereby certify that all conditions have been satisfied and the APPROVAL WAS GRANTED AND EFFECTIVE ON THIS _____ day of _____, 2024.

Amy Reuteman, Town of Rome Clerk/Treasurer
Town of Rome, Adams County, Wisconsin

OWNER'S CERTIFICATE:

Sedge Village South, LLC, as owner, do hereby certify that we caused the land described on this Plat of SEDGE VILLAGE SOUTH to be surveyed, divided, mapped and dedicated as represented on the map hereon. We further certify that this Plat is required by s.236.10 and s.236.12 to be submitted to the Town of Rome, Adams County, and the Department of Administration for approval or objection. Witness the hand and seal of said owners this _____ day of _____, 2024.

SEDGE VILLAGE SOUTH, LLC

By: _____
R. Baker Thompson, Manager

State of _____)
County of _____) ss.

Personally came before me this _____ day of _____, 2024, the above named R. Baker Thompson, Manager, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My Commission expires: _____
Notary Public, State of _____

SURVEYOR'S CERTIFICATE:

I, David N. Gullickson, Professional Land Surveyor No. 2870, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes, Section 4–E7 of the Wisconsin Administrative Code, the Adams County Land Division Ordinance, and the Land Division Ordinance of the Town of Rome, and under the direction of Sedge Village South, LLC, owner of said land, I have surveyed, divided and mapped Sedge Village South; that such Plat Map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is described as part of Lot 26, 27, and 28, Sedge Village, Document Number 572728, and is in part of the Northwest Quarter and the Northeast Quarter of the Southwest Quarter and the Northwest Quarter of the Southeast Quarter, all in Section 26, Township 20 North, Range 05 East, Town of Rome, Adams County, Wisconsin, more fully described as follows:

Commencing at the Southwest 1/4 corner of said Section 26, thence N89°54'56"E along the south line of the Southwest Quarter of the Southwest Quarter, 1,331.00 feet; thence N00°05'04"W, 1,323.84 feet to the southeast corner of Lot 25, said Sedge Village and a point on the south line of the Northwest Quarter of the Southwest Quarter, said point also being the point of beginning; thence N00°36'02"W along the easterly line of said Lot 25, 542.92 feet to a non-tangential curve and a point on the southerly line of Outlot 1 said Sedge Village, a Private Roadway; thence along said Outlot 1, said Sedge Village the following seven courses: (1) thence 194.47 feet along the arc of a curve to the left, having a radius of 99.75 feet, a central angle of 111°42'07", and a chord bearing N45°18'16"E, 165.10 feet to a non-tangential curve; (2) thence 30.18 feet along the arc of a curve to the right, having a radius of 25.25 feet, a central angle of 68°28'38", and a chord bearing N23°41'31"E, 28.41 feet to a non-tangential curve; (3) thence 386.60 feet along the arc of a curve to the right, having a radius of 625.25 feet, a central angle of 35°25'35", and a chord bearing N75°38'38"E, 380.47 feet; (4) thence S86°38'35"E, 160.01 feet to a point of curvature; (5) thence 255.08 feet along the arc of a curve to the left, having a radius of 924.75 feet, a central angle of 15°48'16", and a chord bearing N85°27'17"E, 254.28 feet; (6) thence N77°33'09"E, 345.02 feet to a point of curvature; (7) thence 56.37 feet along the arc of a curve to the left, having a radius of 474.75 feet, a central angle of 08°48'11", and a chord bearing N74°09'03"E, 56.34 feet to a non-tangential line and the northeasterly line of said Lot 28; thence S48°14'38"E along the northeasterly line of said Lot 28, 647.54 feet to the easterly most point of said Lot 28; thence S22°19'38"W along the easterly line of said Lot 28, 479.35 feet to the southeast corner of said Lot 28 and the south line of the Northwest Quarter of the Southeast Quarter; thence S89°48'47"W along the said south line and south line of said Lot 28, 285.43 feet to the southeast corner of the Northeast Quarter of the Southwest Quarter; thence S89°48'39"W along south line of the Northeast Quarter of the Southwest Quarter and the south lines of said Lot 26 & 27, 1,311.53 feet to the point of beginning.

Said Parcel containing 1,270,417 square feet or 29.16 acres, more or less.

Vierbicher Associates, Inc.

By: David N. Gullickson

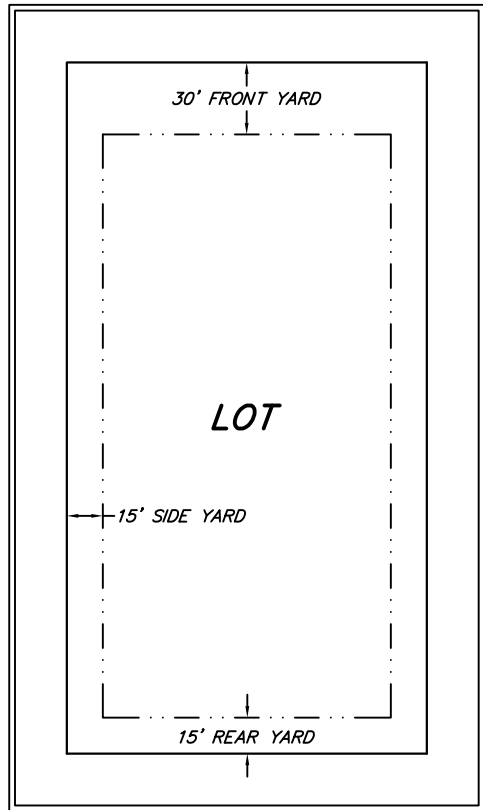
Dated this 28th day of February, 2024

Signed: _____
Vierbicher Associates, Inc.
David N. Gullickson, P.L.S. No. 2870



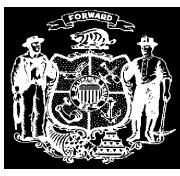
Curve Table					Tangent Bearing Table	
Curve #	Length	Radius	Delta	Chord Length	Chord Dir.	
C1	50.08'	99.75'	28°45'48"	49.55'	N86° 46' 25"E	
C2	144.39'	99.75'	82°56'19"	132.11'	N30° 55' 22"E	
C3	194.47'	99.75'	111°42'07"	165.10'	N45° 18' 16"E	S78° 50' 40"E N10° 32' 48"W
C4	30.18'	25.25'	68°28'38"	28.41'	N23° 41' 31"E	N10° 32' 38"W N57° 55' 50"E
C5	242.08'	625.25'	22°10'59"	240.57'	N69° 01' 20"E	
C6	144.52'	625.25'	13°14'35"	144.20'	N86° 44' 07"E	
C7	386.60'	625.25'	35°25'35"	380.47'	N75° 38' 38"E	N57° 55' 50"E
C8	255.08'	924.75'	15°48'16"	254.28'	N85° 27' 17"E	
C9	56.37'	474.75'	6°48'11"	56.34'	N74° 09' 03"E	N70° 44' 58"E

SETBACK DETAIL



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____



Department of Administration

 planners engineers advisors Phone: (800) 261-3898		Drafted by: DOUL Checked by: BROZ FN: 150044 Date: FEBRUARY 28, 2024 Rev: _____ Rev: _____ Rev: _____	SURVEYED BY: Vierbicher Associates, Inc. By: David N. Gullickson 999 Fourler Drive, Suite 201 Madison, WI 53717 (608) 821-3966 dgu@vierbicher.com	SURVEYED FOR: Sedge Village South, LLC 875 N. Michigan Ave. Chicago, IL 60661	SHEET 2 OF 2

FINDINGS OF FACT:

- 1) A full and complete application was filed by Sedge Village, LLC, and received March 25, 2024 (the "Application") seeking a Preliminary Plat Review for a proposed subdivision development area consisting of 29.16 acres, more specifically described as:
 - a) 29.16 acres comprising all of Lot 26, 27, and 28, Sedge Village, Document No. 572728, and Part of the NW $\frac{1}{4}$ and the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$ and the NW $\frac{1}{4}$ of the SE $\frac{1}{4}$, all in Section 26, Town 20N, Range 5E.
- 2) The reserved subdivision name is Sedge Village South Subdivision.
- 3) The subject property is zoned PUD (Planned Unit Development), as defined in Chapter 360 of the Town of Rome's Code of Ordinances, and the proposed development is a mixed use of ten residential lots situated around a pond.
- 4) Town of Rome Code Section 326-14 requires preliminary plat conform to the requirements of Town of Rome Code Chapter 326, as well as Chapter 236 of the Wisconsin Statutes, so that proposed subdivision developments may be reviewed for proposed dwelling units, types of businesses or industry, and effects of the development on traffic, fire hazards, and congestion of population.
- 5) The Town of Rome Planning Commission duly set this matter upon the agenda of a public meeting and considered the above-described application with the public hearing a matter of record of the Planning Commission meeting of April 9, 2024.
- 6) At the public hearing on the Application held by the Town of Rome Plan Commission on April 9, 2024, evidence and testimony was presented by the Applicant, and all interested persons were allowed an opportunity to speak, a full and complete record of which will be detailed in the minutes of the Plan Commission.
- 7) At the conclusion of the public hearing, after consideration and discussion of the application, public comments, and the report received by staff, the Planning Commission, upon a motion duly seconded, recommended to the Town Board the approval of the Preliminary Plat for Sedge Village South Subdivision, and the following findings were found by the Plan Commission:
 - a. The proposed subdivision conforms to the standards of the applicable district in which it is located, and all standards as described in the approved PUD Project Plan.
 - b. The development will not be detrimental to or endanger the public health, safety or general welfare of the occupants of surrounding lands or the general public services resources.
 - c. The Applicant has met or is in the process of complying with all of the preliminary plat standards under Town Code Section 326-14(B)(2), as well as Chapter 236 of the Wisconsin Statutes, which shall be a requirement prior to approval of the final plat.

Based on the above Findings of Fact and Conclusions of Law, the Town of Rome Planning Commission hereby recommends to the Town Board of Supervisors the approval of the Preliminary Plat for Sedge Village South Subdivision submitted by Sedge Village, LLC. Subject to the following recommended conditions of approval:

- a. _____
- b. _____
- c. _____
- d. _____
- e. _____

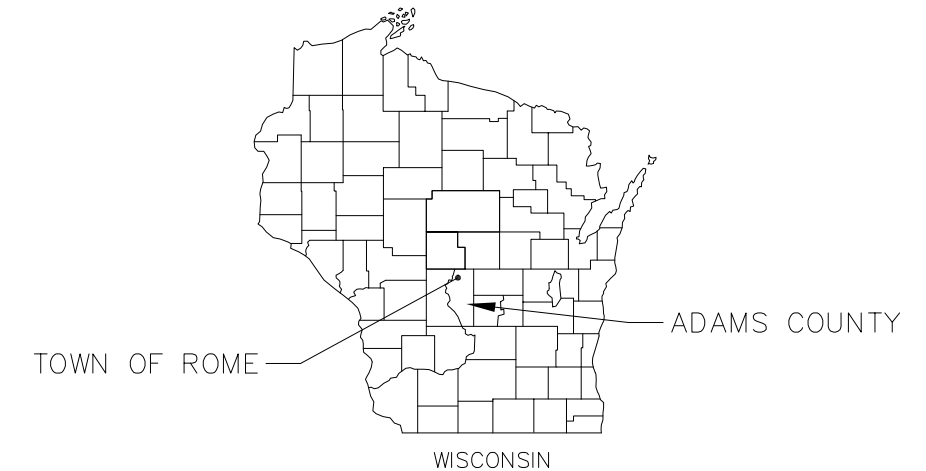
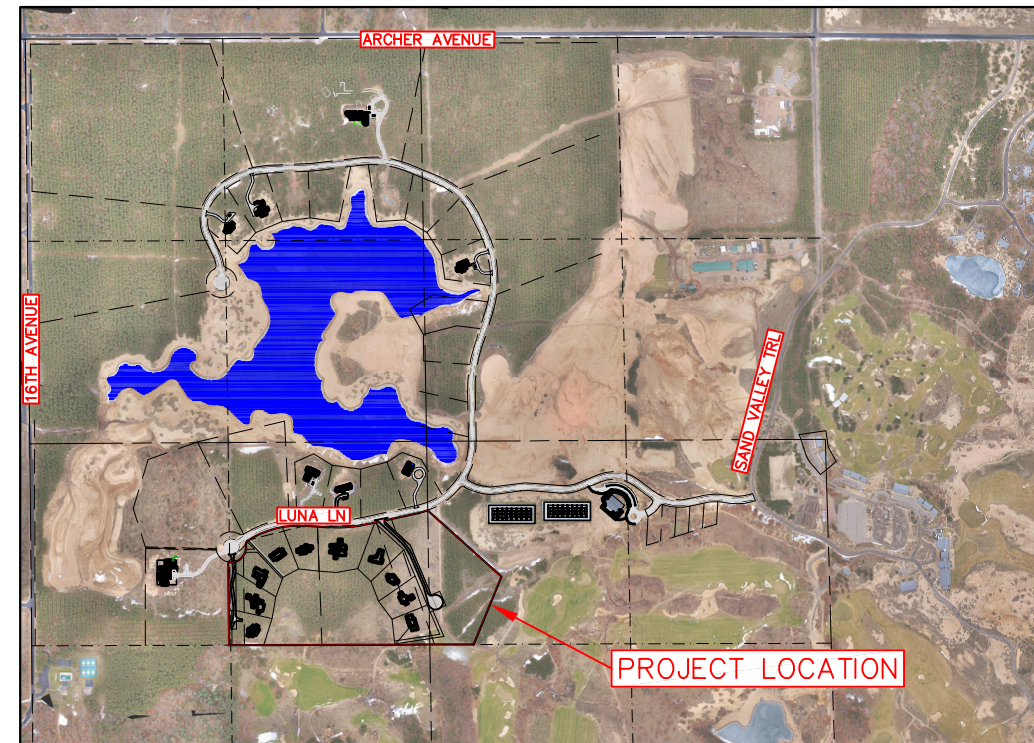
Planning Commission Chair: _____ Date: _____

Planning Commission Secretary: _____ Date: _____

SEDGE VILLAGE SOUTH

PRELIMINARY PLAT SUBMITTAL - SITE PLANS

TOWN OF ROME, ADAMS COUNTY, WI



SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	OVERALL SITE LAYOUT
3	OVERALL STORMWATER MANAGEMENT PLAN

REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	2/28/24	PLAT SUBMITTALS			

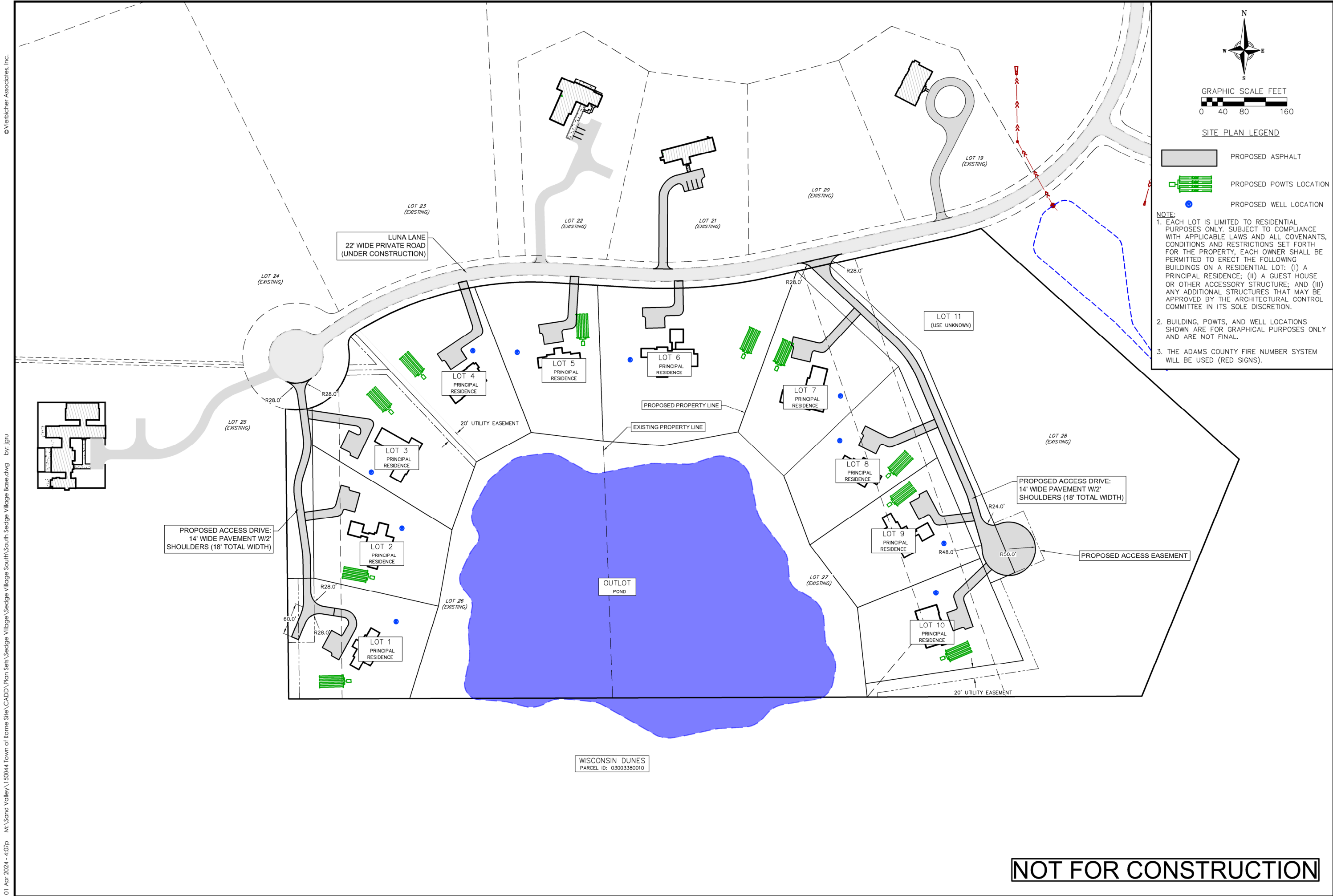
DATE 2/23/24
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PROJECT NO. 150044
SHEET 1 OF 3

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

NOT FOR CONSTRUCTION

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28 Feb 2024 - 3:05p M:\Sand Valley\150044 Town of Rome Site\CADD\Plan Sets\Sedge Village South\Sedge Village Base.dwg by: jdo

e Vierbicher Associates, Inc.



vierbicher
planners | engineers | advisors

OVERALL STORMWATER MANAGEMENT PLAN

SEDGE VILLAGE SOUTH

SAND VALLEY GOLF COURSE

ROME, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	2/28/24		

DATE

2/23/24

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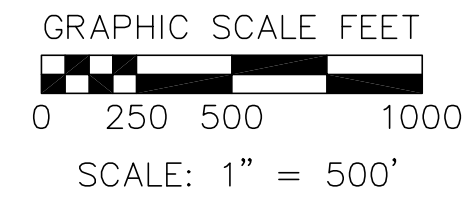
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SHEET

3 OF 3



- EXISTING PROPERTY LINE
 - EXISTING SECTION LINE
 - EXISTING SIXTEENTH LINE



**DECLARATION OF COVENANTS, CONDITIONS,
RESTRICTIONS AND EASEMENTS FOR
SEdge VILLAGE SOUTH**

THIS DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR SEEdge VILLAGE SOUTH (this "Declaration") is made by Sedge Village, LLC, a Wisconsin limited liability company ("Developer"), as of the ____ day of _____, 2024 ("Effective Date").

Recording Area

Name and Return Address:

Sedge Village, LLC
Attn: Michael Keiser
875 N. Michigan Ave. Suite 3920
Chicago, IL 60611

Parcel Identification Number:

See attached Exhibit A

RECITALS

A. Developer is creating a residential development to be known as Sedge Village South, consisting of eleven (11) residential lots and one (1) outlot (collectively referred to herein as, the "Development" or "Subdivision"), on certain property located in the Town of Rome, Adams County, State of Wisconsin, as more particularly described on the attached Exhibit A, and depicted on the attached Exhibit B.

B. To further the purposes of the Development and to effectuate a desirable utilization of land in an aesthetically pleasing residential environment, Developer desires to subject the lots and outlot (collectively, the "Property"), and any and all buildings and other improvements now or hereafter erected upon the Property, to the conditions, restrictions, covenants, reservations and easements contained in this Declaration, for the benefit of the Developer and each future owner of any lot within the Subdivision.

C. Developer intends to develop the Property in a manner that is coordinated with the adjacent Sand Valley golf resort ("Sand Valley"), provided, however, no person obtains any special privileges or access to Sand Valley solely by virtue of their ownership of a lot within the Subdivision.

DECLARATION

NOW, THEREFORE, Developer declares that the Property shall be held, sold, conveyed, transferred, used and improved subject to the conditions, restrictions, covenants, reservations and easements contained in this Declaration, which shall inure to the benefit of Developer, its successors and assigns, and to all parties hereafter having any interest in the Property. This Declaration is made subject to all easements, covenants, conditions and restrictions of record.

1. DEFINITIONS. The following terms shall have the assigned definitions:
 - a. "Applicable Law" shall mean any and all laws, statutes, ordinances, codes, rules or regulations of all federal, state and local governments.
 - b. "Architectural Control Committee" or "ACC" shall mean the committee charged with administration of the architectural control requirements of this Declaration, and during such time as Developer owns one or more Lots or Outlots within the Subdivision, Developer shall be entitled to appoint the ACC, regardless of whether Developer stills controls the Board.
 - c. "Association" shall mean Sedge Village South HOA, Inc., the members of which shall be all Owners of Lots within the Subdivision.
 - d. "Association Insurance" shall mean all policies of insurance obtained and maintained by the Association under this Declaration or the Bylaws.
 - e. "Board" or "Board of Directors" shall be the governing body of the Association.
 - f. A "Building" shall be any freestanding structure located on any Lot in the Subdivision.
 - g. "Bylaws" shall mean the Bylaws of the Association as adopted by the Board.
 - h. "Common Improvements and Services" shall mean and consist of all improvements made and services furnished, from time to time, by the Developer or the Association for the benefit of the Development, including, without limitation, the private access drive constructed on Outlot 1, any portion of the Subdivision accepting stormwater from the private access drive on Outlot 1, entrance landscaping, landscaping maintenance, storm lighting, development identification signage, common area utilities, private access road maintenance, snow and ice removal, gated access, security systems, security monitoring, trash collection, and insurance coverage.
 - i. "County" shall mean Adams County.
 - j. "Developer" shall mean Sedge Village, LLC, and the successors and assigns of Developer, pursuant to assignment provisions of this Declaration.
 - k. "Declaration" shall mean this Declaration as the same may be amended from time to time.
 - l. "Director" shall mean a member of the Board.
 - m. "Drawings" is defined in Section 6. a.
 - n. "Lot" shall mean a platted lot within the Subdivision intended for residential development, as shown on the Plat. The reference to a Lot by a number shall mean that particular numbered Lot as shown on the Plat.
 - o. "Mortgage" shall mean a recorded first lien mortgage against a Lot, or the vendor's interest under a recorded first lien land contract relating to a Lot.
 - p. "Mortgagee" shall mean the holder of a Mortgage.
 - q. "Occupant" shall mean the Owner and any other person residing on or occupying a Lot.

r. "Outlot" shall mean a platted outlot within the Subdivision upon which Developer intends to construct Common Improvements or is reserved for the common enjoyment of the Lot Owners. The reference to an Outlot by a number shall mean that particular numbered Outlot as shown on the Plat. Outlot 1 is to be operated as a private access drive for the benefit of the Lot Owners in accordance with this Declaration.

s. "Owner" or "Lot Owner" shall mean each fee simple owner of a Lot, but if any Lot is the subject of a recorded land contract, then the Owner is the vendee under such land contract. References to "Owner" or "Lot Owner" shall include all owners of a Lot, notwithstanding the use of the singular form in this Declaration. Developer is an Owner with respect to Lots during such time as Developer holds title. Developer is also an "Owner" with respect to the Open Space.

t. "Plat" shall mean the Plat of Sedge Village South, recorded in the Register of Deeds' Office, including any additions to the Plat of Sedge Village subsequently recorded.

t. "Property" shall mean the real estate subject to this Declaration, as described on Exhibit A and depicted on Exhibit B.

u. "Register of Deeds' Office" shall mean the office of the Register of Deeds for Adams County, Wisconsin.

v. "Rules and Regulations" shall mean any rules and regulations that may be adopted and amended from time to time by the Board of Directors pursuant to this Declaration.

w. "Town" shall mean the Town of Rome.

2. BINDING EFFECT. This Declaration, which regulates the use, improvement and occupancy of the Property, shall become effective immediately upon its recording.

3. GENERAL PURPOSE.

a. The general purpose of this Declaration is to: (i) ensure that the Development will become and remain an attractive, high quality residential community intended to preserve and maintain its natural beauty; (ii) ensure the best use and the most appropriate development and improvement of building sites on each Lot; (iii) protect Lot Owners against use and development of other Lots as may detract from the value of their Lots; (iv) prevent the erection of poorly designed or proportioned structures in any part of the Development; (v) promote harmonious use of materials and color schemes in improvements; (vi) encourage attractive homes with appropriate siting on Lots; (vii) promote proper spatial relationships of structures to other structures and Lot lines; and (viii) generally ensure a quality residential development of the Development.

b. Each Lot is limited to residential purposes only. Subject to compliance with Applicable Laws and all covenants, conditions and restrictions set forth in this Declaration, each Owner shall be permitted to erect the following Buildings on a residential Lot: (i) a principal residence; (ii) an accessory structure; and (iii) any additional structures that may be approved by the ACC in its sole discretion.

4. ASSOCIATION.

a. The Association shall be incorporated by the Developer as a non-stock corporation under chapter 181 of the Wisconsin statutes, and shall adopt Bylaws for its governance and administration.

Each Lot shall be vested with one vote at meetings of the Association members. Each Lot Owner subject to this Declaration shall be a member of the Association and membership shall pass with title to a Lot.

b. The Association shall be governed by a Board of Directors consisting of three (3) directors, who shall act by majority vote. Developer shall be entitled to appoint all Directors until the earlier of: (i) the date on which Developer no longer owns any Lot or Outlot; or (ii) Developer's election to waive its right to control.

c. The Board shall annually adopt a budget of common expenses and levy assessments on the Lots for the operation of the Association, including the cost of maintaining Common Improvements and Services. Each Lot subject to this Declaration shall be subject to assessment by the Association for Association's existing or anticipated expenses, as more particularly described in this Declaration or in the Bylaws. Assessments shall constitute a lien on the Lot and are also the personal obligation of its Lot Owner, until paid. If the County of the Town becomes the owner of any Lot through the tax delinquency process, the foregoing provision shall not be deemed to supersede any law limiting or eliminating the liability of the County or the Town with respect to fees or assessments imposed under this Declaration.

d. General assessments shall be levied on an annual basis and shall be due and payable in such periodic installments as determined by the Board. The Board may levy a special assessment for any purpose for which a general assessment may be levied, which special assessment shall be due and payable at such time and in such manner as the Board designates. Any assessment or installment of assessment not paid within thirty (30) days of its due date may be subject to a late charge and/or interest as set forth in the Bylaws or as established by rule adopted by the Board.

e. If any Owner fails to timely pay any assessment installment, the Association may take all appropriate measures as permitted by law to enforce payment. The defaulting Owner shall be responsible for all costs incurred by the Association in seeking to enforce payment, including the Association's reasonable attorneys' fees. The Association shall have the right to file a lien against the Lot for any unpaid Association payments, which lien shall be effective as of the recording of notice thereof in the Register of Deeds' Office. Liens for unpaid assessments shall also extend to and secure payment of any fines, interest and reasonable costs of collection, including the Association's attorneys' fees.

f. During such time as Developer owns any Lot in the Subdivision, Developer may, but shall not be obligated to, directly pay bills or provide services that would otherwise represent Association obligations to which regular assessments would be applied. Developer may offset expenses incurred by Developer in performing or paying such Association obligations against assessments due for Developer-owned Lots. If the aggregate of Developer payments exceeds the aggregate of assessments then due on Developer-owned Lots, Developer shall be entitled to reimbursement from the Association.

g. Common expenses shall be allocated among all Lot Owners in shares proportionate to their votes in the Association. Common surpluses for each fiscal year shall be retained for common expenses for the next succeeding fiscal year.

h. The Association may employ a professional management agent or company to assist in carrying out its duties under this Declaration, with such experience and qualifications and on such terms and conditions as are acceptable to the Association.

i. Rules and Regulations, not in conflict with the provisions of this Declaration, concerning the use and enjoyment of the Subdivision, may be promulgated and amended from time to time by the Board of Directors, in its reasonable discretion. Copies of the then current Rules and Regulations and any amendments thereto shall be furnished to all Lot Owners by the Board promptly after the adoption of such

Rules and Regulations or any amendments thereto. In no event shall such Rules and Regulations materially and adversely affect any Lot Owner's rights under this Declaration.

j. A copy of this Declaration and the Association's books, records and financial statements to be kept by the Association shall be available for inspection by any Owner or any representative of an Owner duly authorized in writing.

5. ARCHITECTURAL CONTROL COMMITTEE. The Architectural Control Committee (or ACC) for the Subdivision shall be appointed by Developer and, at Developer's election, the ACC may consist of the same individuals who serve as the Board. During such time as Developer owns one or more Lots or Outlots in the Subdivision, and regardless of whether Developer has previously transferred control of the Board to the Lot Owners, Developer may, nonetheless, continue to appoint the ACC. The decision of the majority of the ACC members shall be final and binding. During such time as Developer appoints the ACC, Developer, at its sole discretion, may elect to have only one or two members of the ACC, whose decisions shall be nonetheless binding, valid and enforceable. ACC members shall not be entitled to compensation for services performed pursuant to this section. Developer shall be entitled to remove and replace members of the ACC, at its sole discretion, as long as Developer owns any Lot or Outlot in the Subdivision. After Developer no longer owns any Lot or Outlot in the Subdivision, the ACC shall consist of the Board of Directors of the Association.

6. ARCHITECTURAL CONTROL.

a. No Building, accessory structure, fence, wall, driveway, deck, patio, light post, well, private onsite wastewater system (POWTS), landscaping or other structure or improvement shall be constructed, erected, placed or altered on any Lot in the Subdivision without the approval of the ACC. Prior to erecting any building or structure, making any improvement or installing or altering any landscaping, the Lot Owner shall submit to the ACC three (3) sets of plans, including building construction plans, elevations, specifications, site plans, grading plans and landscaping plans, as appropriate (plans and specifications referenced above, "Drawings"). If and when Drawings are approved, one set of the approved Drawings shall be signed, dated, and returned by the ACC to the Lot Owner as evidence of ACC approval. Any changes or revisions required by the ACC shall first be made to the Drawings by Owner before approval is given. Once ACC approval is given, construction shall be performed in substantial conformity with the approved Drawings unless subsequent changes are submitted to and approved by the ACC.

b. In reviewing Drawings, the ACC may consider the suitability of the proposed Building or other structure or improvement, its design, elevation, color, construction materials, surrounding Buildings, proposed location, the view from other Lots in the Subdivision, terrain, environmental impact, aesthetics, and such other consideration as the ACC deems appropriate. The ACC shall have the right to waive approve variances or deviations from the restrictions imposed by this Declaration based on Lot configuration, hardship and/or other factor or factors satisfactory to the ACC, in the ACC's sole discretion. Any action by the ACC shall be final and conclusive as to all persons then or thereafter owning Lots in the Subdivision. The ACC shall not be liable for actions taken or decisions made in good faith.

c. In addition to compliance with this Declaration, all construction shall comply with Applicable Law. ACC approval of Drawings shall not be deemed an ACC certification that construction proposed in such Drawings complies with Applicable Law, and such compliance shall be the sole responsibility of the Owner and such Owner's builder. The ACC shall have no liability or responsibility if the ACC approves Drawings that fail to comply with Applicable Law and/or which fail to properly handle drainage. If approved Drawings violate Applicable Law, or fail to properly handle drainage, it

shall be the sole responsibility of the Lot Owner to discover and correct the matter, including appropriate corrections to the Drawings, which corrected Drawings shall be resubmitted to the ACC. All construction on any Lot shall conform to the Development master grading and drainage plans on file with the Association and/or the Town.

d. It is intended that architectural styles amongst Lots in close visual proximity to one another shall be compatible, while also featuring diversity to avoid monotony or duplication. The ACC may consider a proposed residence in relation to existing or previously approved homes in close visual proximity to the proposed residence. The ACC, in its sole discretion, may grant conceptual approval for the use of a certain exterior design on any Lot in the Subdivision, and reserve the use of said design for said Lot, prior to receiving the actual plans as required pursuant to Section 5 above. Any such conceptual approval and/or reservation may be rescinded by the ACC at any time prior to final approval of the Drawings, upon not less than sixty (60) days' written notice to the Lot Owner if the Lot Owner fails to submit the full set of Drawings as required pursuant to Section 6a above prior to the expiration of said notice period, and/or if the ACC rejects the Drawings so submitted.

e. The exterior siding of all dwellings shall consist of natural wood siding, natural stone, brick or stucco. In addition to the foregoing, upon ACC approval, exterior siding may consist of other materials provided that the architectural integrity of the home is not adversely affected by the use of such other materials. The ACC, in its sole discretion, shall have the right to permit or prohibit the use of artificial stone, artificial brick, composite wood, and/or other types of siding as the ACC deems appropriate to preserve the architectural integrity and quality appearance of the Development. All pitched roofs shall consist of wood, tile or dimensional asphalt shingles. The ACC, in its sole discretion, may permit use of other roofing materials, provided such other material has substantially the same appearance as the preferred materials.

f. All detached garages, storage structures and other outbuildings require ACC approval and may be permitted or denied at the sole discretion of the ACC. The ACC shall have the right to condition approval on the proposed outbuilding having the same materials, similar architectural design and/or color scheme as the residence. All outbuildings shall be permanent. No outbuilding is permitted in any easement area.

g. The need for interpretation, from time to time, is inherent in the implementation and enforcement of protective covenants and restrictions. Where such interpretation is required, the matter shall be resolved by the ACC, whose decision shall be final.

7. **LOCATION OF IMPROVEMENTS.** The placement and location of all Buildings and other improvements on a Lot, including the location of the well and POWTS serving each Lot, shall, in addition to compliance with Applicable Laws, be subject to the approval of the ACC. Exhibit C attached to this Declaration and incorporated herein depicts the permitted building envelope for Lots 1 through 28, inclusive (the "Permitted Building Envelope"). The Permitted Building Envelope for Lots 29 through 33, inclusive, shall be the entire Lot. All improvements on a Lot must be located within the Permitted Building Envelope for such Lot. Upon written request of a Lot Owner, the ACC may, in the exercise of its sole discretion, approve an amendment to the location of the Permitted Building Envelope, provided the amended location complies with all applicable setbacks and other legal requirements. Any such amendments approved by the ACC shall be recorded with the Register of Deeds' office, at the Lot Owner's expense.

8. COMMENCEMENT OF AND COMPLETION OF CONSTRUCTION.

a. Before any construction is commenced on a Lot, the driveway shall be rough graded, in a location and vertical alignment approved by the ACC. All construction access to the Lot during construction by material suppliers, contractors, subcontractors and other individuals shall be by the installed driveway only.

b. All exterior construction shall be completed within one (1) year of construction commencement and the Building shall be ready for occupancy within that period. Within the earlier of: (i) one year of occupancy; or (ii) two years of commencement of construction, Owner shall complete all landscaping in accordance with the plans and specifications approved by the ACC.

c. During construction, the Lot Owner shall ensure that the Owner's contractor maintains prompt cleanup of scraps, paper, debris or other waste materials. A dumpster shall be maintained on the Lot throughout construction. The Lot Owner shall repair any and all damage to the right-of-way adjacent to the Lot, including, but not limited to, pavement, curbing, ditch, swale and/or culvert, and to any drainage ditches, swales and/or other drainage facilities on the Lot, occurring during construction. If Owner fails to perform the responsibilities set forth above, Developer or Association shall have the right to perform the necessary cleanup and/or make the necessary repairs and obtain reimbursement from the Lot Owner for the expense incurred by Developer or Association. Proper erosion control practices shall be installed prior to commencing any earth-moving activities to prevent sediment entering storm water drainage ways or leaving the Lot construction site.

9. FAILURE TO COMPLY. If a Lot Owner or Owner's contractors fail to comply with the cleanup requirements and/or the use of the approved driveway, and/or repair of any damaged drainage facilities and/or public right-of-way, and if Developer, as a result of such noncompliance, undertakes any cleanup or repair, and/or is charged or assessed by Town for same, Developer shall be entitled to recover, upon demand, from the Lot Owner, all costs and expenses incurred by Developer relative to such cleanup and/or repair, together with all costs and expenses of collection, including but not limited to reasonable actual attorneys' fees. If a Lot Owner or the Lot Owner's contractors fail to comply with the architectural or other requirements of this Declaration, and if Developer or Association retains an attorney to enforce said requirements, Developer or Association shall be entitled to recover, upon demand, from the Lot Owner, all costs and expenses, including actual attorneys' fees, incurred with respect to such enforcement.

10. PRESERVATION OF EXISTING VEGETATION. No existing vegetation on a Lot shall be cut down, destroyed, mutilated, moved or disfigured, without prior approval of the ACC. Except as to trees authorized by the ACC to be removed, all existing trees shall be protected during construction and preserved by wells or islands and proper grading in such a manner as may be required by the ACC.

11. DRIVEWAYS. Each Lot Owner shall install a hard-surfaced concrete or asphalt driveway within one (1) year of the date of issuance of an occupancy permit for the residence on the Owner's Lot. Driveways may be constructed with alternate materials with the approval of the ACC. The driveway shall extend from garage entry to point of intersection with the right-of-way. If the driveway is concrete, the concrete shall be installed no closer than six (6) feet to the traveled portion of the roadway, with the area between the concrete drive and the traveled portion of the roadway paved with asphalt.

12. HEIGHT OF GRADE.

a. No Lot Owner shall alter the grade of any Lot except in compliance with the Development master grading plan approved by, and on file with, the Association and/or the Town. Lot

grades may only be altered if the Lot Owner first obtains written approval of the ACC and Town, and then only to the extent authorized in such approval. Any application for grade deviation approval shall include a grading plan with detailed specifications on the area proposed to be regraded, existing and proposed topography and a civil engineer's analysis and opinion that there will be no adverse drainage impact for the subject Lot, any other Lot or on any public improvements.

b. Each Lot Owner must strictly adhere to and finish-grade its Lot in accordance with the master grading plan. Developer, Association and/or Town, and/or their agents, employees or contractors, shall have the right to enter upon any Lot, at any time, to inspect, maintain or correct any drainage condition. If grades are found which are inconsistent with the master grading plan (as amended, if applicable), the Lot Owner shall be responsible for any and all costs to conform grades to those specified in the master grading plan.

13. NUISANCES. No noxious or offensive activities are permitted on any Lot or Outlot, or any activity or condition which constitutes a nuisance.

14. STORAGE RESTRICTIONS. No outside storage of boats, motorcycles, snowmobiles, all-terrain vehicles, motor homes, recreational vehicles, trailers, tractors or inoperative vehicles is permitted on any Lot. No outside storage of any type of truck used as a commercial vehicle containing any type of signage shall be permitted on any Lot. "Outside storage" shall mean location on a Lot, and not contained within a garage for three (3) or more consecutive days.

15. UTILITY RESTRICTIONS. Except for residential propane gas tanks servicing gas barbeque grills, no exterior fuel tanks, including, but not limited to, fuel oil tanks, propane gas tanks and/or motor vehicle fuel tanks, whether aboveground or belowground, are permitted on any Lot unless approved by the ACC. All Lots shall be serviced by electric, cable television and telephone service via underground installation only. No residence or other Building or structure on any Lot shall be serviced by overhead service wires. All costs and expenses involved in installing underground utility service connections on any Lot between the utility companies' secondary pedestals and Building on any Lot shall be paid by the Lot Owner.

16. ANIMALS AND LIVESTOCK AND POULTRY. No animals may be raised, bred or kept on any Lot other than dogs, cats, or other household pets, providing they are not raised, kept, bred or maintained for any commercial purpose. By way of enumeration, and not by way of limitation, the term "household pets" does not include livestock, snakes, rodents, poultry, goats or pigs of any kind.

17. SIGNS. Except for political signs of a reasonable size and in reasonable proximity to the election for which such political sign is posted, no sign of any kind shall be displayed to public view on any Lot except one sign not more than five square feet in size: (i) advertising the property for sale or rent; or (ii) used by a builder to advertise a residence for sale, or as a model home, but only during the construction and sales period. Developer may post such signs as Developer determines in conjunction with initial Lot sales in the Subdivision and Developer or Association may also erect and maintain one or more Development signs at entrances to the Development.

18. MAINTENANCE.

a. Each Lot Owner shall maintain any Building and other improvements located on such Owner's Lot in accordance with the Building Plans approved by the ACC. No modification or alteration of the exterior of such Building or to any improvements shall occur without prior approval of the ACC. Each Lot Owner shall maintain the natural and landscaped areas on the Owner's Lot in accordance with

the plans approved by the ACC. No modification or alteration of such natural or landscaped areas shall occur without prior approval of the ACC.

b. Each Owner shall regularly inspect the general condition of the Owner's Lot and the exterior of any Buildings and other improvements located thereon and shall maintain the Lot and all improvements in a first-class condition. If any Owner fails to maintain any portion of the Owner's Lot or the exterior condition of any Building or improvements in the required condition, the Association may deliver written notice to the Owner detailing the work necessary to restore the property to the condition required by this Declaration. The Owner shall, at the Owner's sole cost and expense, promptly undertake or authorize the Association to undertake the necessary repairs or maintenance. If the Owner fails to take the action necessary to restore the property to the condition required by this Declaration within thirty (30) days of receipt of notice from the Association, the Association shall have the right, but not the obligation, to enter such Owner's Lot for the purpose of performing the repairs or maintenance specified in the written notice. The cost of any repairs or maintenance performed by the Association pursuant to this paragraph shall be levied as a special assessment against the Lot, with written notice to the Owner, which assessment shall be immediately due and payable.

c. The Association shall maintain any Common Improvements and Services and may levy assessments against the Lot Owners for such maintenance/service in accordance with Section 4 above. In addition, the Developer reserves to the Association an easement allowing the Association the right, but not the obligation, to perform maintenance over the portion of any Lot located outside of the Permitted Building Envelope.

19. **ANTENNAE.** No exterior antennas, other than dish type antennas not exceeding twenty-four (24) inches in diameter, shall be permitted on any Lot. Permitted dish antennas shall not be attached to the front of any house, nor located in the front yard of the residence.

20. **SWIMMING POOLS.** No swimming pools, whether above-ground or in-ground, may be erected on any Lot.

21. **FENCES.** It is the intention to preserve the open natural feeling of the Development environment. No barrier or containment fences may be erected on or adjacent to any Lot line. Fencing of a decorative or landscaping nature may be installed subject to ACC approval.

22. **EASEMENTS.**

a. **Utility and Storm Water Easements.** Developer may grant subterranean easements within a twenty-foot strip of land running along the front, side and rear line of each Lot, to utilities that service the Development or to facilitate Common Improvements maintained by the Association, including storm water facilities. Upon the sale of any Lot by Developer, Developer shall be deemed to have reserved the right to grant such easements. Any public bodies and utilities accessing any such easement areas declared by Developer shall have the obligation to repair any damage resulting from such access. No pedestals or buried cables are to be placed such that the installation would disturb any survey stake, or obstruct vision along any lot line. No pole-mounted or overhead facilities are permitted within such easement areas.

b. **Surface Water Drainage.** There shall exist a perpetual, non-exclusive, reciprocal easement for surface water drainage on, over and across all Lots within the Subdivision in accordance with the master grading and drainage plans on file with the Association and/or the Town.

c. **Reserved Rights.** Developer, at its sole discretion, may grant easements over and across Outlot 1 for any purpose not inconsistent with this Declaration.

23. **APPLICABLE LAW.** In addition to the requirements of this Declaration, all Lots and improvements thereon shall be subject to Applicable Law. No Lot may be further subdivided nor may any Lots be combined without prior approval of the ACC, and subject to Applicable Law. Each Owner is required to understand and ensure that the Owner's Lot and all construction thereon is in full compliance with Applicable Law, including, without limitation, Town zoning ordinances and building codes. In the event of any conflict between this Declaration and any law, statute, rule, code, regulation or ordinance of Town, County, State of Wisconsin or federal government, the more restrictive provision shall apply.

24. **INSURANCE.**

a. **Association Insurance.** The Association shall obtain and maintain comprehensive general public liability insurance, casualty insurance coverage on any Common Improvements, and such other policies and/or coverages as the Association deems necessary or advisable.

b. **Coverage of Association Insurance.** The casualty insurance coverage shall be in an amount equal to the insurable replacement value. Comprehensive general liability coverage shall be in such amounts as the Association determines annually, but not less than \$1,000,000 per occurrence.

c. **Proceeds.** Association Insurance proceeds for casualty loss shall be for the benefit of the Association in order to finance reconstruction of damaged Common Improvements. Liability coverage and other insurance proceeds shall be applied as the Association directs.

d. **Cost.** All premiums for Association Insurance and other insurance obtained by the Association shall be a common expense.

e. **Acts Affecting Insurance.** No Owner or Occupant shall commit or permit any violation of covenants or agreements contained in any of the Association Insurance, or do or permit anything to be done, or keep or permit anything to be kept, or permit any condition to exist, which might (a) result in termination of any such policies, (b) adversely affect the right of recovery thereunder, (c) result in reputable insurance companies refusing to provide such insurance, or (d) result in an increase in the insurance rate or premium over the premium which would have been charged in the absence of such violation or condition, unless, in the case of such increase, the Owner or Occupant responsible for such increase shall pay the same.

25. **INDEMNIFICATION.**

a. Each Owner agrees to discharge, defend, indemnify and hold Developer, Developer's Affiliates and the officers, directors, managers, members, agents, employees, representatives, successors and assigns of each of them (collectively, the "Indemnified Parties" and individually, an "Indemnified Party") harmless from and against any and all demands, claims, suits, causes of action, proceedings, obligations, settlements, liabilities, damages, injunctions, penalties, liens, losses, charges, court costs and reasonable expenses of every kind or nature (including, without limitation, reasonable fees of attorneys and other professionals retained by Developer in the event Owner fails to retain counsel to represent Developer who is acceptable to Developer) which may be actually imposed on, incurred by or asserted against any of the Indemnified Parties arising from or out of:

i. any failure by Owner or its Occupants to perform any of the agreements, terms, covenants, or conditions on Owner's part to be performed under this Declaration, subject to applicable notice and cure periods;

ii. any accident, injury or damage which happens in or occurs on the Owner's Lot to any persons on the Lot, unless caused by the gross negligence or willful misconduct of Developer, its agents, contractors, officers, managers, members or employees or suffered by employees of Developer whose damages would otherwise be covered under applicable workers' compensation benefits;

iii. any work undertaken by Owner (or on behalf, at the direction, or with the consent of Owner) or its Occupants in, on, or about the Lot;

iv. the use, non-use, possession, occupation, condition, operation, maintenance or management of the Lot or any part thereof or of any road, passageway or space adjacent thereto by Owner (or on behalf, at the direction, or with the consent of such Owner) or its Occupants, to the extent that such road, passageway or space adjacent to the Lot is actually being utilized, used, occupied, maintained and/or encroached upon by Owner or its Occupants or is otherwise under the control of Owner or its Occupants;

v. any wrongful act or negligence committed by Owner or its Occupants (or their respective agents, employees or contractors) in connection with, arising out of or relating to the ownership, use, occupancy or operation of the Lot and any failure of Owner or its Occupants to comply with any Applicable Law relating to, arising from or in connection with the use, non-use, possession, occupation, condition, maintenance or management of the Lot or any part thereof, or any road, passageway or space adjacent thereto to the extent not covered by insurance maintained by Developer, to the extent that such road, passageway or space adjacent to the Lot is actually being utilized, used, occupied, maintained and/or encroached upon by Owner or its Occupants or is otherwise under the control of Owner or its Occupants; and

vi. any other provision of this Declaration which provides that Owner shall indemnify and/or hold harmless any of the Indemnified Parties with respect to the matters contained in such provision.

26. AMENDMENTS TO DECLARATION.

a. This Declaration may be amended by a written document approved by the Owners of at least seventy-five percent (75%) of the Lots subject to this Declaration, provided, however, that so long as Developer owns at least one Lot or Outlot within the Subdivision: (i) Developer, acting alone, shall have the authority to amend this Declaration; and (ii) no amendment of this Declaration shall be effective unless the amendment is also approved by Developer. If a Lot is owned by more than one Owner, amendment approval by any one or more of Owners of such Lot shall be deemed sufficient to evidence approval of the amendment, unless the other Lot Owner has previously recorded in the Register of Deeds' Office a notice stating that approval of any amendment on behalf of such Lot shall not be effective without the approval of the Owner filing such notice. In no event shall this section be construed to require Developer to obtain the approval of any Lot Owner to make any amendment to this Declaration which is expressly permitted under this Declaration to be made by Developer alone. "Approval" as referenced in this Section shall mean signature pages with the sufficient majority of approving Lot Owners' signatures appended to a copy of the approved amendment and maintained in the corporate book of the Association. The actual amendment shall be executed by the president and secretary of the Association, with a warranty and representation by such signatories that signature pages evidencing the appropriate majority of Lot Owners are on file with the secretary of the Association in the Association's corporate book. Except as to such president's and secretary's signature, no other Association signature shall be required on the amendment. Amendments shall be effective upon the date of recordation in the Register of Deeds' Office.

b. During such time as Developer continues to own at least one Lot or Outlot in the Subdivision, Developer, acting alone, shall have the right, but not the obligation, to subject additional lands to this Declaration. If Developer adds additional lands to be subject to this Declaration, Lots created in such addition shall have equal membership and voting rights in the Association, and be subject to assessment for an equal share of the Association's existing and anticipated expenses in the same manner as all other Lots subject to this Declaration.

27. ASSIGNMENT. All or any of Developer's rights pursuant to this Declaration may be assigned by Developer to one or more successor developers by written assignment executed by Developer alone, and which assignment(s) shall become effective upon recordation in the Register of Deeds' Office.

28. ENFORCEMENT.

a. This Declaration may be enforced by proceedings at law or in equity against any person or persons violating or attempting to violate same. An enforcement action may be brought by Developer, the Association or any Lot Owner. An enforcement proceeding may seek to recover damages and/or demand compliance through injunctive or other relief. No enforcement action shall be valid or sustainable where seeking to address any construction, placement or alteration of any structure or improvement on any Lot more than one year after the completion of the construction, placement or alteration of such structure or improvement. This one-year limitation shall not apply to any failure to establish and/or maintain proper grading and/or with respect to changes in grade made without obtaining all required approvals. Nothing herein contained shall be construed to require Developer or the Association to undertake any enforcement action. If Developer or the Association prevails in any enforcement action brought respecting this Declaration, Developer or the Association, as the case may be, may recover all of its costs and expenses in such enforcement, including, without limitation, its reasonable attorneys' fees, from the non-prevailing party.

b. In addition to remedies set forth above, if any Lot Owner shall violate any covenant or restriction contained in this Declaration, and if such violation is an initial violation by such Lot Owner of such particular covenant or restriction, which violation remains uncured for more than five (5) days after notice by Developer or Association, such Owner may be assessed by the Association a fine of Twenty-Five Dollars (\$25) per day, commencing on the sixth (6th) day after the notice of initial violation was provided to such offending Owner. In the instance of a second or subsequent violation of the same covenant by the same Owner, no cure period shall be provided, and the Twenty-Five Dollars (\$25) per day fine shall commence on the date the offense is reported to the Association with photographic or other supporting evidence. The Board of Directors shall be empowered to extend cure periods where reasonably necessary and appropriate in such Board's discretion to permit cure.

29. TERM. This Declaration shall run with the Property, and shall be binding upon all parties and persons having any interest in such land for an initial period of forty (40) years from the date this Declaration is recorded. Thereafter, the Declaration shall continue for the full duration of the statutory limitation period for actions to enforce easements or covenants restricting the use of real estate (currently codified at Section 893.33 (6), Wis. Stats., but including any future amendments, modifications or renumbering of that section). Unless opposed by greater than seventy-five percent (75%) of the then-Owners of Lots in the Subdivision, the term of this Declaration may be extended by written extension recorded in the Register of Deeds' Office signed by the then-president and secretary of the Association. Prior to execution and recordation of such extension, a meeting shall be held to determine whether more than seventy-five percent (75%) of the Lot Owners are opposed to such extension and would instead elect to have the term of the Declaration terminated.

30. FURTHER DEVELOPMENT. Developer and/or its affiliates intends to develop other land adjacent to the Development for residential or recreational purposes. Each Lot Owner acknowledges these intentions and agrees not to interfere with the future development of the Property or adjacent land by the Developer for the stated purposes.

31. SAND VALLEY, TITLE CONFERS NO SPECIAL PRIVILEGES. No person obtains special privileges or access to Sand Valley resort or any of Sand Valley's amenities solely by virtue of their ownership of a Lot within the Subdivision.

32. MISCELLANEOUS.

a. This Declaration runs with the lands and shall be binding upon Developer and Owners and all of Developer's and Owners' successors and assigns in and to any interest in any Lot.

b. The laws of the State of Wisconsin govern all matters arising out of this Declaration.

c. Any notice required or desired to be given under this Declaration may be sent as follows: (i) if to Developer or Association, to the person and at the address maintained as the registered agent for such entity according to the records of the Wisconsin Department of Financial Institutions; and (ii) if to any Lot Owner, to the address maintained to the Lot by Town for tax assessment or notice purposes.

d. If any provision of this Declaration is held unenforceable by a court of law, such holding shall in no way affect any other provision of this Declaration, which shall remain in full force and effect.

e. Topical headings and captions contained in this Declaration are inserted for convenience only and such headings and captions shall not limit or construe the sections to which they apply or otherwise affect their interpretation.

f. Words of masculine, feminine or neuter gender shall mean and include corresponding words of other genders and words importing the singular number shall mean and include the plural number and vice versa.

g. The terms "include," "including," and similar terms shall be construed as if followed by the phrase "without being limited to."

EXHIBITS

Exhibit A	Legal Description
Exhibit B	Site Plan Depicting the Development
Exhibit C	Permitted Building Envelopes

This instrument was drafted by:
Daniel A. O'Callaghan, Esq.
Carlson Black O'Callaghan & Battenberg LLP
608.888.1687

[SIGNATURE PAGES FOLLOW]

IN WITNESS WHEREOF, This Declaration is made as of the Effective Date.

DEVELOPER:
SEdge VILLAGE, LLC

By: _____
Baker Thompson, Manager

ACKNOWLEDGMENT

STATE OF _____)
) SS.
COUNTY OF _____)

Personally came before me this _____ day of _____, 2024, the above-named Baker Thompson, as Manager of Sedge Village, LLC, to me known to be the person who executed the foregoing instrument in such capacity and acknowledged the same.

Name: _____
Notary Public, State of _____
My Commission: _____

EXHIBIT A

LEGAL DESCRIPTION

[to be inserted]

Parcel Identification Numbers:

[to be inserted]

EXHIBIT B

SUBDIVISION PLAT

[attached]

EXHIBIT C

PERMITTED BUILDING ENVELOPES

[attached]



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for **Adams County, Wisconsin**



February 18, 2022

Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 720-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD). USDA is an equal opportunity provider and employer.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

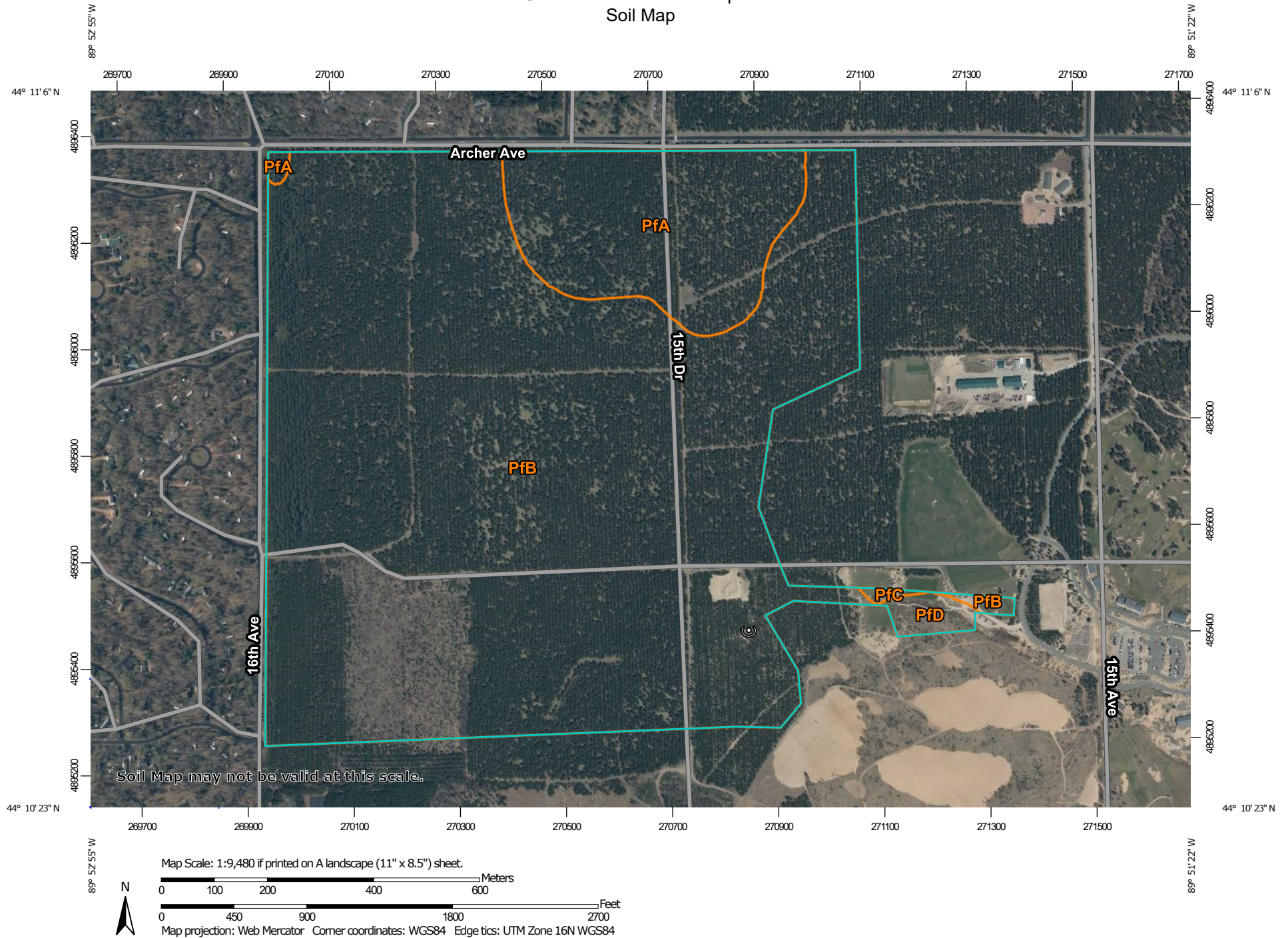
Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Custom Soil Resource Report

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water

 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot

 Sinkhole

 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot

 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

Water Features

 Streams and Canals

Transportation

 Rails

 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Adams County, Wisconsin
Survey Area Data: Version 21, Sep 7, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 12, 2020—May 15, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PfA	Plainfield sand, 0 to 2 percent slopes	37.6	13.2%
PfB	Plainfield sand, 2 to 6 percent slopes	243.1	85.6%
PfC	Plainfield sand, 6 to 12 percent slopes	0.5	0.2%
PfD	Plainfield sand, 12 to 35 percent slopes	2.7	1.0%
Totals for Area of Interest		283.9	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

Custom Soil Resource Report

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Adams County, Wisconsin

PfA—Plainfield sand, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 2v3dn
Elevation: 720 to 1,440 feet
Mean annual precipitation: 31 to 35 inches
Mean annual air temperature: 43 to 46 degrees F
Frost-free period: 110 to 150 days
Farmland classification: Not prime farmland

Map Unit Composition

Plainfield and similar soils: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Plainfield

Setting

Landform: Terraces, rises
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Tread, rise
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy outwash

Typical profile

Ap - 0 to 7 inches: sand
Bw - 7 to 28 inches: sand
BC - 28 to 36 inches: sand
C - 36 to 79 inches: sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 20.00 in/hr)
Depth to water table: About 60 to 80 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 4.0 inches)

Interpretive groups

Land capability classification (irrigated): 2s
Land capability classification (nonirrigated): 4s
Hydrologic Soil Group: A
Forage suitability group: Low AWC, adequately drained (G089XY002WI)
Other vegetative classification: Low AWC, adequately drained (G089XY002WI)
Hydric soil rating: No

Minor Components

Friendship

Percent of map unit: 5 percent
Landform: Outwash plains, stream terraces, lake terraces
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Tread, talf
Down-slope shape: Convex, linear
Across-slope shape: Convex, linear
Other vegetative classification: Low AWC, adequately drained (G105XY002WI)
Hydric soil rating: No

Meehan

Percent of map unit: 3 percent
Landform: Plains
Landform position (three-dimensional): Talf, dip
Down-slope shape: Linear, concave
Across-slope shape: Linear
Hydric soil rating: No

Richford

Percent of map unit: 2 percent
Landform: Plains
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

PfB—Plainfield sand, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 2v3dt
Elevation: 720 to 1,440 feet
Mean annual precipitation: 31 to 35 inches
Mean annual air temperature: 43 to 46 degrees F
Frost-free period: 110 to 150 days
Farmland classification: Not prime farmland

Map Unit Composition

Plainfield and similar soils: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Plainfield

Setting

Landform: Terraces, rises
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Tread, rise
Down-slope shape: Linear

Custom Soil Resource Report

Across-slope shape: Linear
Parent material: Sandy outwash

Typical profile

Ap - 0 to 7 inches: sand
Bw - 7 to 28 inches: sand
BC - 28 to 36 inches: sand
C - 36 to 79 inches: sand

Properties and qualities

Slope: 2 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 20.00 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 4.0 inches)

Interpretive groups

Land capability classification (irrigated): 2s
Land capability classification (nonirrigated): 4s
Hydrologic Soil Group: A
Forage suitability group: Low AWC, adequately drained (G089XY002WI)
Other vegetative classification: Low AWC, adequately drained (G089XY002WI)
Hydric soil rating: No

Minor Components

Friendship

Percent of map unit: 5 percent
Landform: Outwash plains, stream terraces, lake terraces
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Tread, talf
Down-slope shape: Convex, linear
Across-slope shape: Convex, linear
Other vegetative classification: Low AWC, adequately drained (G105XY002WI)
Hydric soil rating: No

Meehan

Percent of map unit: 3 percent
Landform: Plains
Landform position (three-dimensional): Talf, dip
Down-slope shape: Linear, concave
Across-slope shape: Linear
Hydric soil rating: No

Richford

Percent of map unit: 2 percent
Landform: Plains
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

PfC—Plainfield sand, 6 to 12 percent slopes

Map Unit Setting

National map unit symbol: 2v3dv
Elevation: 720 to 1,440 feet
Mean annual precipitation: 31 to 35 inches
Mean annual air temperature: 43 to 46 degrees F
Frost-free period: 110 to 150 days
Farmland classification: Not prime farmland

Map Unit Composition

Plainfield and similar soils: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Plainfield

Setting

Landform: Terraces, rises
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Tread, rise
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy drift

Typical profile

Ap - 0 to 7 inches: sand
Bw - 7 to 28 inches: sand
BC - 28 to 34 inches: sand
C - 34 to 79 inches: sand

Properties and qualities

Slope: 6 to 12 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 20.00 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 4.0 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 6s
Hydrologic Soil Group: A
Forage suitability group: Low AWC, adequately drained (G089XY002WI)
Other vegetative classification: Low AWC, adequately drained (G089XY002WI)

Custom Soil Resource Report

Hydric soil rating: No

Minor Components

Friendship

Percent of map unit: 5 percent

Landform: Outwash plains, stream terraces, lake terraces

Landform position (two-dimensional): Footslope

Landform position (three-dimensional): Tread, talf

Down-slope shape: Convex, linear

Across-slope shape: Convex, linear

Other vegetative classification: Low AWC, adequately drained (G089XY002WI)

Hydric soil rating: No

Plainbo

Percent of map unit: 3 percent

Landform: Valley trains, hills, stream terraces

Landform position (two-dimensional): Backslope, shoulder

Landform position (three-dimensional): Crest, tread, talf

Down-slope shape: Convex, linear

Across-slope shape: Convex, linear

Other vegetative classification: Low AWC, adequately drained (G089XY002WI)

Hydric soil rating: No

Richford

Percent of map unit: 2 percent

Landform: Plains

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Hydric soil rating: No

PfD—Plainfield sand, 12 to 35 percent slopes

Map Unit Setting

National map unit symbol: 2v3dw

Elevation: 720 to 1,440 feet

Mean annual precipitation: 31 to 35 inches

Mean annual air temperature: 43 to 46 degrees F

Frost-free period: 110 to 150 days

Farmland classification: Not prime farmland

Map Unit Composition

Plainfield and similar soils: 93 percent

Minor components: 7 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Plainfield

Setting

Landform: Rises, terraces

Custom Soil Resource Report

Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Riser, tread, rise
Down-slope shape: Concave, linear
Across-slope shape: Linear
Parent material: Sandy drift

Typical profile

A - 0 to 4 inches: sand
Bw - 4 to 14 inches: sand
BC - 14 to 20 inches: sand
C - 20 to 79 inches: sand

Properties and qualities

Slope: 12 to 35 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Runoff class: Medium
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 20.00 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water supply, 0 to 60 inches: Low (about 3.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 7s
Hydrologic Soil Group: A
Forage suitability group: Low AWC, adequately drained with limitations (G089XY003WI)
Other vegetative classification: Low AWC, adequately drained with limitations (G089XY003WI)
Hydric soil rating: No

Minor Components

Richford

Percent of map unit: 4 percent
Landform: Plains
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Plainbo

Percent of map unit: 3 percent
Landform: Valley trains, hills, stream terraces
Landform position (two-dimensional): Backslope, shoulder
Landform position (three-dimensional): Crest, tread, talf
Down-slope shape: Convex, linear
Across-slope shape: Convex, linear
Other vegetative classification: Low AWC, adequately drained (G089XY002WI)
Hydric soil rating: No

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Custom Soil Resource Report

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Utility and Stormwater Management Summary

Sedge Village South

Town of Rome, WI

Prepared For:
Sedge Village LLC
875 N Michigan Ave, Ste 3920
Chicago, IL 60611

Prepared By:
Vierbicher
600 W Virginia St, Suite 601
Milwaukee, WI 53204

Prepared On:
February 28, 2024
Project #150044

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NARRATIVE

1.1 Introduction

The project site is located south of Luna Lane within the Sand Valley development in the Town of Rome, WI. The project includes the re-platting of Lots 26-28 of the Sedge Village plat to include 10 new single family residences, 2 access drives and a wet basin. The purpose of this summary is to discuss the utilities and stormwater management facilities to serve the project.

1.2 Utility Description

It is currently proposed to serve each of the home sites with their own gas tank, water supply well and private onsite wastewater treatment system (POWTS). Electric and cable services are installed along Luna Lane and are proposed to be extended to serve each of the home sites. Storm sewer culverts shall be installed as necessary to safely convey stormwater under driveways. A storm sewer outlet is proposed to control the elevation of the wet basin and shall be utilized to convey stormwater from the wet basin to a downstream regional stormwater facility.

1.3 Stormwater Management Summary

The proposed site will be required to meet the new development stormwater management standards of the Town of Rome, Adams County, and the State of Wisconsin DNR. A summary of the requirements are listed in the table below:

Stormwater Management Requirements	
Design Frequency	1-, 2-, 10-, and 100-Year, 24-hour events using with MSE3 Distribution
Rainfall Data	1-year = 2.4", 2-year = 2.69", 10-year = 3.82", 100-year = 6.38" per 24-hour period
Curve Number (CN)	Pre-Developed Maximum: 39 Post-Developed Impervious Areas: 98 Post-Developed Proposed Grassed Areas: 56
Peak Rate Control	Post-Developed Peak Discharge less than or equal to Pre-Developed Peak Discharge for 1- and 2-year events; Post-Developed Peak Discharge not more than 10% increase over Pre-Developed Peak Discharge for 10-year event
Runoff Volume Control	Post-Developed Volume not more than 10% increase over Pre-Developed Volume for 2- and 10-year storm events
Sediment Control	80% TSS Reduction as compared to no controls for Post-Developed
Infiltration	90% Infiltration of Pre-Developed volume, based on average annual rainfall
Erosion Control	5 tons/acre/year or less of soil loss

Proposed grassed swales, vegetative buffers, a wet basin, and existing infiltration basins/depressions shall be utilized to meet these stormwater management requirements. The stormwater runoff from the proposed access roads shall initially drain to proposed roadside grassed swales or vegetative buffers, where the stormwater will be treated to provide a minimum of 60% total suspended solids (TSS) removal. The stormwater shall then be conveyed to either the wet pond or an infiltration depression. Stormwater that is



conveyed to the wet pond shall overflow to a regional infiltration basin (currently under construction). The site is an enclosed watershed in which not a significant amount of stormwater is draining off-site in the current conditions. Given the enclosed watershed condition, it is proposed to infiltrate the stormwater from all rainfall events up to (at a minimum) the 100-year design event at the proposed infiltration basin and the existing infiltration depressions. The stormwater will be contained within the basin/depressions so that the proposed cabins have a minimum of 1' of freeboard and the utility transformers and roads are not inundated.

The required land disturbing and stormwater management permits shall be obtained prior to construction.



**OFFICE USE ONLY:**

Date: 3-28-2024 PERMIT #: _____
Parcel #: 030-00408-0015 Zoning District: B1
Waterfront Yes (No)

Zoning Department

1156 Alpine Drive Phone: 715 325-8019
Nekoosa, WI 54457 Fax: 715 325-8035
Email:
www.romewi.com

Revised
SITE PLAN & PLAN OF
OPERATION REVIEW APPLICATION
\$350.00 APPLICATION FEE

* **ADDITIONAL REGULATIONS:** The undersigned hereby applies for a Permit to do work described and located as shown on this application and the attached plot plan. For your protection, you should determine if your project is subject to regulations of any other entity such as Adams County, the State of Wisconsin, or a homeowners association.

* **SETBACKS:** All lot lines shall be physically marked for all setbacks that are less than ten feet greater than the required setback (e.g. side lot setback = 10 ft., if actual setback will be less than 20 ft., must mark lot line). **IMPORTANT NOTE:** Permits are issued based upon information submitted including the plot plan. It is the property owner/contractor responsibility to complete construction according to the approved submittals and in accordance with all ordinances and with all laws of the State of Wisconsin applicable to said premises and work.

CIRCLE ONE: DWELLING ATTACHED ACCESS. BUILDING DETACHED ACCESS. BUILDING SHED COMMERCIAL OTHER

PLEASE PRINT CLEARLY & FILL OUT COMPLETELY

Owned By: Barnum Bay Beach and Marina LLC Phone: 715.325.6555
(First) (Middle Initial) (Last)

Mailing Address: 1735 Archer Lane, Nekoosa WI 54457

Property Description:

Gov. Lot: 2 or 1/4, 1/4, Sec. 28, T 20, N, R 05 E

Lot: _____; Block: _____; Addition: _____; Subdivision: _____

PT GOVT LOT 2 LY S ARCHER LN, LOT 1 CSM 4670

Property Address: PROPERTY #: 030-00408-0015

Lot / Parcel Size: Width: _____ Length: _____ Acres / Sq. Ft.: 6.380

Construction Description: No existing construction or buildings on the property. Requesting approval to build campground
(New Dwelling, Addition, Accessory Building, Shed)

Use: to be used as campground / short term RV parking
(Residence, Residential Accessory, Commercial, Industrial, Public etc.)

Type of Construction (If Manufactured Home, list year): Campground / RV pads, water and electric supply, well + septic system
(Frame, Masonry, Manufactured, Pole, etc.)

Building Description: Width Shower/bath 24' office 15' Length: Shower/bath 30' office 10' Area: OFFICE TOTAL 150 sq ft Shower/bath 720 sq ft TOTAL 870 sq ft
Height: 8' walls No. of Stories: 1 story No. of Bedrooms: N/A

IMPORTANT NOTES: IT IS THE RESPONSIBILITY OF THE PERSON SIGNING TO CALL FOR REQUIRED INSPECTIONS. THE UNDERSIGNED FURTHER ACKNOWLEDGES: (1) THAT THEY HAVE READ *NOTES ABOVE AND THE NOTICE ON THE BACK OF THIS PERMIT APPLICATION REGARDING WETLANDS. (2) THAT THE SIGNATURE BELOW ALSO GRANTS CONSENT FOR DEPARTMENT STAFF TO ENTER PREMISES.

Signature of Owner or Agent: [Signature] Cell # 608.577.8181

Printed Name: Mark Anderson E-mail mark.anderson.md@gmail.com

Address: 5888 Hialeah Dr, Fitchburg WI 53711

OFFICE USE ONLY:	
Zoning: \$ <u>350.00</u>	Comments / Conditions: _____
Paid: \$ <u>cash</u>	_____
Date: <u>12-15-23</u>	Approved by: _____ Date: _____
By: <u>Dan Lija</u>	Denied by: _____ Date: _____

TOWN OF ROME

SITE PLAN AND PLAN OF OPERATION CHECKLIST

NOTE: **Bold Italic** items are to be indicated on the Site Plan. Use the space provided on this form for comments.

1. Project Owner: Barnum Bay Beach & Marina LLC Phone: 715-325-6555
Mailing Address: 1735 Archer Lane Nekeosa, WI 54457
2. Project Operator: N/A Phone: N/A
Mailing Address: N/A
3. **Project Site Information:**
Parcel Number: 030-00408-0015 Legal Description: PT GOVT LOT 2 LY S Archer Lane Address: Applying for address permit 3-
Lot Size: Depth: _____ Width: _____ Acres: 6.380 Zoning: G2-Commercial
4. Name and address of all owners of abutting parcels: 18 owners
5. All existing lot lines, easements and rights-of-way. Include area in acres or square feet, abutting land uses and structures: See Survey map and drawing
6. The location and use of all existing and proposed structures within the development. Indicate design details to make new construction compatible with existing structures: No existing structures. Initial plan is to build the infrastructure for camping pads/ RV pads, then add well and septic, then a pump house with bathrooms and showers.
7. **Dimensions and Number of Stories of all Buildings:**
Building A: 24'x30' Shower/bath + 10'x15' 870 sqft TOTAL Stories / Height: 1 story / 8ft walls Use: Shower/Bathroom/Laundry OFFICE
Building B: _____ Stories / Height: 1 story / 8ft walls Use: Pump House
Building C: _____ Stories / Height: _____ Use: _____
Total Floor Area: 870 sqft = shower/bathroom/laundry & office (All 1 building)
8. Outside Storage: ☒ No Yes: _____
9. Traffic flow patterns within the site, entrances and exits, loading and unloading areas, parking areas, sidewalks, ramps, curb cuts on the site and within 100 feet of the site: See survey map
- Parking: Number of Spaces: 9 within campground Employee Parking: Park @ Lure Bar & Grill - golf cart to commute to
Dimensions of Parking Lot: 81 x 165 Type of Construction: crushed rock / compacted gravel
10. Outside Events: ☒ No Yes Frequency: Events will continue on the Lure Bar & Grill / Barnum Bay Marina lots, but no new events on this lot.
11. Maximum Number of Employees: Full-Time: _____ Part-Time: 3-4
12. Days & Hours of Operation: Sunday through Saturday 9am - 7pm
13. A landscape plan showing existing and proposed vegetation cover and water sources, and all proposed changes to these features, including size and type of plant material, drainage and storm-water retention areas and grade alterations: See campground map
14. Outdoor Lighting: Type: Pole light / some ground surface lighting Location: Entry of campground and center of camping grounds. (Parking lots)
10ft tall LED Downward facing / office required Building lighting.

15. **Signs:** The location, height, size, materials, and design of all proposed signage:

Free-Standing Number: Size(s): Location(s): On existing Lure Sign
Single or Double Faced: Double Materials: weather protected metal
Wall Mounted Number: Size(s): 24" x 18" Materials: Metal Framed Neon Sign
Lighted: No Yes Neon

16. **Outside Food and / or Beverage Service:** No Yes: N/A

17. **Inside and / or Outside Music (type, hours & days):** No Yes: N/A

18. Refuse Disposal: Public: Private: X
Refuse Containers (type & location): North side with syd dumpster fenced in

19. Is a Commercial Transfer Site Permit Required: No Yes Date Issued:

20. **Fencing or Screening:** No Yes: trees / Emerald Greens (see campground map)

21. **Sanitary System:** Septic System will be installed POWTS system (see map)

22. Any Potential Problems or Nuisances such as Odor, Smoke, Vibration or Noise Resulting from this Operation: No Yes: N/A

23. **Surface Water Drainage Facilities:** Storm Water Retention, Flow of Surface Water, and Amount of Impervious surfaces: See map

24. Any Special License Required to be obtained from Local, State or Federal Licensing Agencies for the proposed Operation: No Yes: Health Department inspection for campground / campground License

25. Did the Wisconsin Department of Commerce Approve the Building Plans?: No Yes
Date Approved: N/A Comments: Not needed

26. **Expansion of an Existing Operation:** No Yes: N/A

27. **Onsite Sale of any Items and / or Services:** No Yes: Campground rentals
Office - accessory items for campers & apparel

28. Does this Operation Involve the Production of any Items? No Yes: N/A

29. Description of the Production Process: N/A

30. **Any Chemicals, Hazardous Waste, Solvents, Gasoline or other Petroleum Products Stored on the Site:** No Yes: N/A
How are the Chemicals, Wastes and Solvents Disposed of: N/A

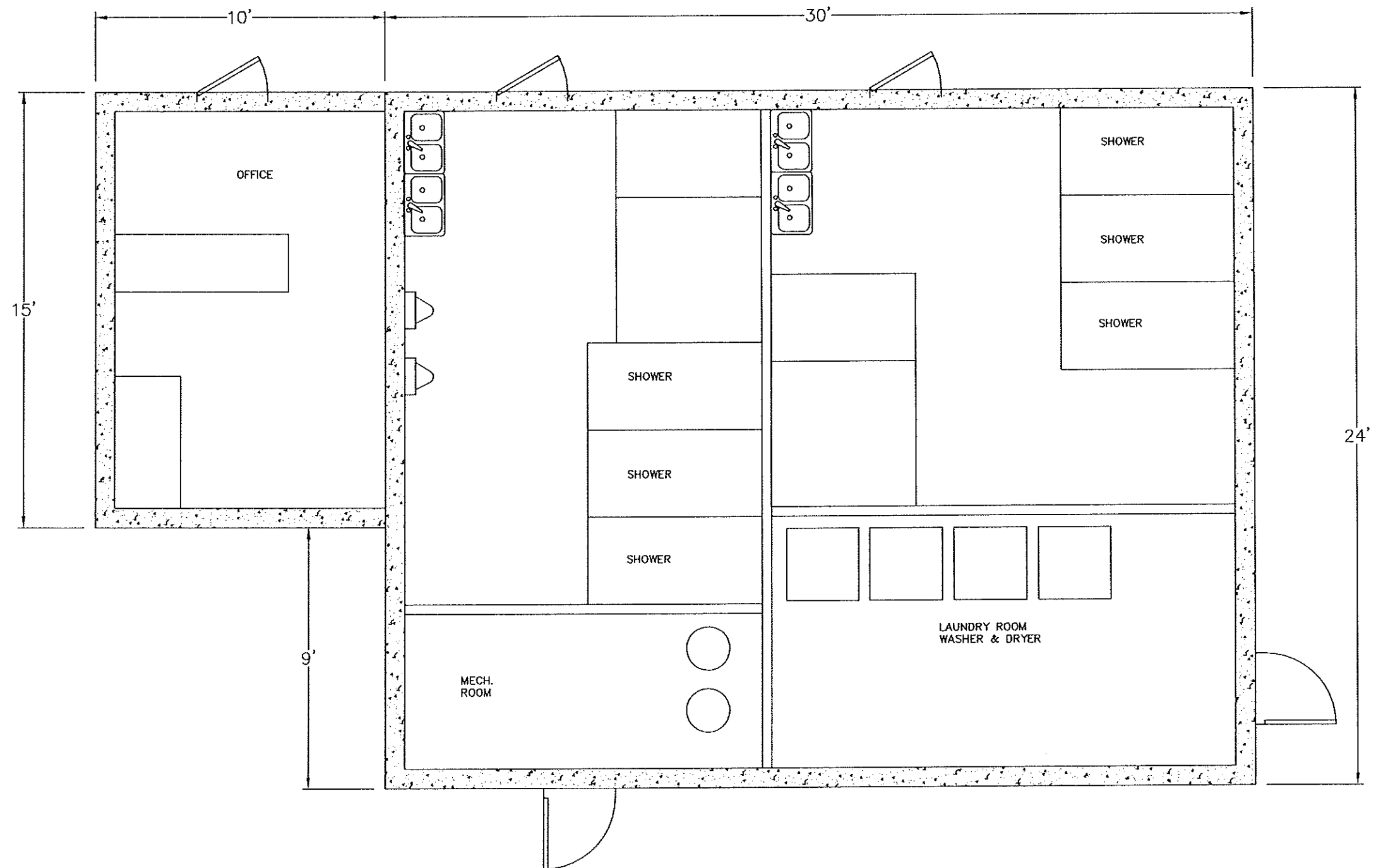
31. **Does this Operation Involve the Boarding of Animals:** No Yes: N/A

Additional information may be required by the Zoning Administrator, Town Plan Commission, Town Board, and any other governmental agencies having jurisdiction of this site plan and plan of operation.

Property Owner Signature: Emel Lely - Prop. Date: 12/1/2023

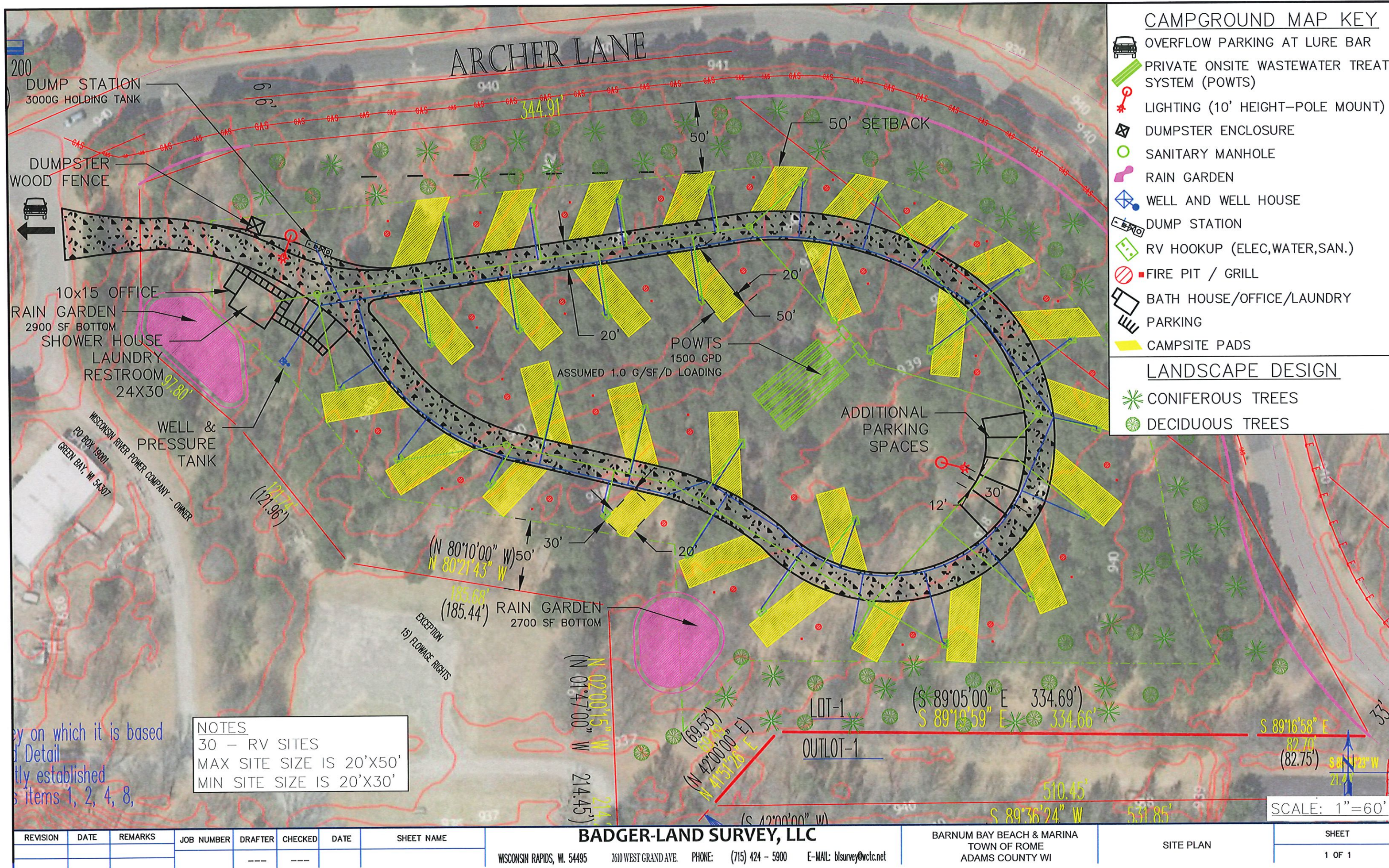
Future Plan Commission Review Requirements/Considerations for Site Plan & Plan of Operation

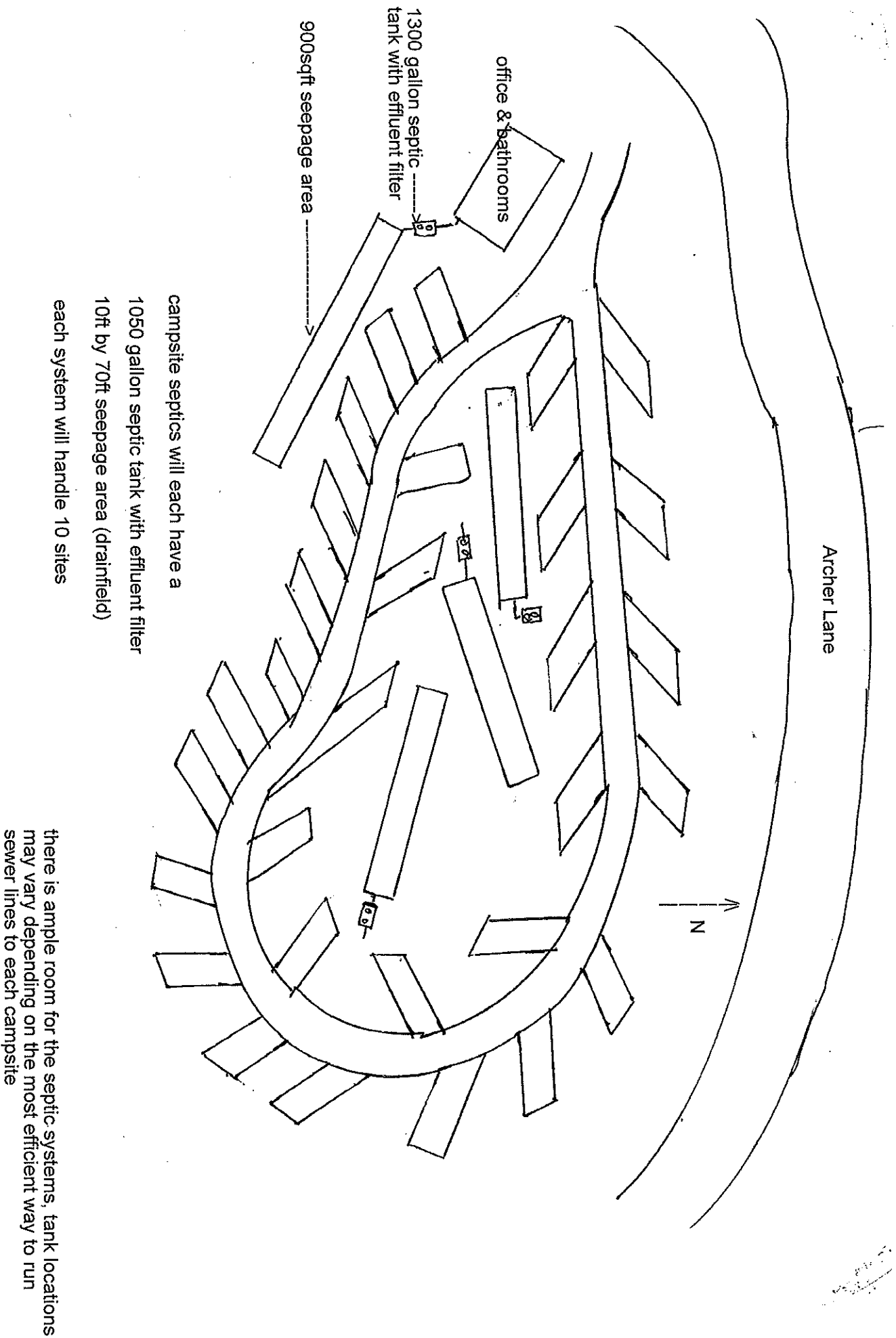
- Correct all documents and maps as needed to show all required information from the Conditional Use Permit Condition(s) and/or correct inaccuracies
 - Re-submit a fully completed Site Plan & Plan of Operation Checklist document with updated information
- Campground Map should depict all items that are shown on the map in a key (i.e. landscaping key)
- Landscaping List should be provided for all types of plantings
 - Campground Map should depict trees in setback areas (including Lot 1 area as screening)
 - Landscaping plan should meet species requirement in Design Plan requirements
- Plans (Floor plan & architectural rendering) for office/shower house is needed and needs to comply with B-1 (height, width) requirements (i.e. 24'x24') and Design Plan building standards
- Septic location and size must be depicted on map
 - Sanitary Sewer – All campsites should be full hookups (mentioned by multiple PC members)
- Update stormwater map depicting all relevant locations of stormwater areas and include approvals from Adams County & DNR
- Provide updated exterior lighting plan and parking plan
 - Include plans for handling overflow parking
 - Both plans must meet the Design Plan requirements in B1 District
- Sign plan/permit application should be submitted



1:4 SCALE

REVISION	DATE	REMARKS	JOB NUMBER	DRAFTER	CHECKED	DATE	SHEET NAME	BADGER-LAND SURVEY, LLC			BARNUM BAY BEACH & MARINA TOWN OF ROME ADAMS COUNTY WI		FLOOR PLAN	SHEET
								WISCONSIN RAPIDS, WI. 54495	2610 WEST GRAND AVE.	PHONE: (715) 424 - 5900	E-MAIL: bldsurvey@wisc.net			1 OF 1





FINDINGS OF FACT:

- 1) A full and complete application was filed by Barnum Bay Beach and Marina, LLC, and received December 1, 2023 (herein referred to as "Application") seeking approval of a Site Plan & Plan of Operation Review for the property located on Archer Ln, also described as Lot 1 CSM 4670, located in Government Lot 2 of Section 28, Town 20N, Range 05E, Town of Rome, Adams County, WI with a parcel number of 030-00408-0015.
- 2) The Site Plan & Plan of Operation Review is to allow for a campground at the property.
- 3) The property is zoned B-1 Business District, as defined in Chapter 360 of the Town Code.
- 4) The Town of Rome Planning Commission duly set this matter upon the agenda of a public meeting and considered the above-described application with the public hearing a matter of record of the Planning Commission meeting of March 12, 2024.
- 5) At the public hearing on the Application held by the Town of Rome Plan Commission on March 12, 2024, evidence and testimony was presented by the Applicant, and all interested persons were allowed an opportunity to speak, a full and complete record of which will be detailed in the minutes of the Plan Commission.
- 6) At the conclusion of the public hearing, after consideration and discussion of the application, public comments, and the report received by staff, the Planning Commission, upon a motion duly seconded, approved the request for the Site Plan & Plan of Operation, and the following findings were found by the Plan Commission:
 - a. The Site Plan & Plan of Operation conforms with the standards of the applicable district in which it is located.
 - b. The establishment, maintenance or operation of the proposed campground and use will not be detrimental to or endanger the public health, safety or general welfare of the occupants of surrounding lands.

The Town of Rome Plan Commission hereby recommends approval of the Site Plan & Plan of Operation request submitted by Barnum Bay Beach and Marina, LLC, to allow for the construction of a campground at parcel# 030-00408-0015. The following additional conditions were placed on the approval: (if applicable):

- a. _____
- b. _____
- c. _____
- d. _____

Planning Commission Chair

Date

Planning Commission Secretary

Date

Signature of Owner/Applicant: _____

Date: _____

Signature of Owner/Applicant: _____

Date: _____

Note: if Owner is other than Applicant and is unable to sign, please attach written authorization from Owner allowing Applicant to sign on their behalf

Given to Brad 3-28-24



Driveway Permit

This application is for administrative purposes only. You will not receive notification or be contacted about your driveway unless there is a problem or if a culvert is needed. All granted permits shall follow all policies and procedures of the Town of Rome; no exclusions will be granted. All concrete or asphalt paved driveways shall be inspected prior to installation and re-inspected after installation. Failure to comply with the requirements as set forth in Town Code Article III § 320-24 may result in the driveway having to be removed and/or replaced. Please make your check out to the Town of Rome and if mailing it, send it to 1156 Alpine Drive Nekoosa, WI 54457. Any questions concerning this permit should be directed to the Director of Public Works at 715-325-8017.

Please circle: *New Driveway: \$30 *Changing Existing Driveway: \$30

*Temporary Access: \$30

Type of material: Crushed Aggregate Road Base

Approximate Length: 50' Width: 20 Cost: _____

Applicant Name Mark Anderson / Barrom Bay Beach Marina LLC

Site Address Archer Ln 030-00408-0015 Phone # 715-325-6555

E-mail Address LoreBarand611@yahoo.com

Mailing Address (if different from above) 1735 Archer lane unit 1 Campground gets own mailing address

Contractor Name & Address Dan Lilja

Estimated Start Date: 4/14/24 Estimated Restoration Date _____

Inspection Date: _____ Driveway Approved by: _____

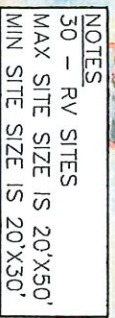
Over 200' in length from public right of way to structure. Yes _____ No X

Approved by Fire Chief if over 200'. Approved by: _____

The applicant understands and agrees that the permitted work shall comply with all permit provisions and conditions of the Town of Rome in effect at the time of application, and with any special provisions attached hereto, and any and all plans, details, or notes attached hereto and made a part thereof.

Signature Dan Lilja [illegible] Date 3-28/2024

ARCHER LANE



REVISION	DATE	REMARKS	JOB NUMBER	DRAWN	CHECKED	DATE	SHEET NAME
BADGER-LAND SURVEY, LLC WISCONSIN PARTIAL, PL 54455 260 WEST GREENDALE PHONE: (715) 424-3900 E-MAIL: harrington@badger-land.com							
BARNUM BAY BEACH & MARINA TOWN OF ROQUE ADAMS COUNTY WI							
SITE PLAN 1 of 1							



OFFICE USE ONLY:

Date: 4-2-2024 PERMIT #: 524-6
Parcel #: Outlot 1 (for sign Easement) Zoning District: Sign easement is
of Parcel # 030-00356-0020 located in R1

Zoning Department

1156 Alpine Drive Phone: 715 325-8019
Nekoosa, WI 54457 Fax: 715 325-8035
Email: zoning@romewi.com
www.romewi.com

SIGN PERMIT APPLICATION

***\$100.00 OFF SITE APPLICATION FEE**
\$50.00 ON SITE APPLICATION FEE

PLEASE PRINT CLEARLY & FILL OUT COMPLETELY

Owner of Sign:

Name Lure Bart Grill and Barnum Bay Beach Marina LLC
Mailing Address 1735 Archer Ln
City/State/Zip Nekoosa WI 54457
Home Phone Same Business Phone 715-325-6555
Tax Parcel No. 030-00408-0015
Location of Sign Archer Ln + Hwy 2

TYPE OF SIGN: ☐ On Premise ☒ Off Premise

DESIGN OF SIGN: Attach a drawing to scale showing the size and height of the sign. Said drawing shall also contain a brief description of the type of materials that are to be used for the sign, color scheme, lettering or graphic style and lighting.

SITE PLAN

Attach drawing showing the following:

Location of sign on property

Distance to center line of road 39 ft.

Distance to closest side of lot line 3 ft.

Distance to driveway at right-of-way line 0 ft.

BY SIGNING BELOW I GRANT CONSENT FOR DEPARTMENT STAFF TO ENTER PREMISES.

Signature of Owner or Agent: Daniel Lih Sa Cell # 715-712-8132
Printed Name: Daniel Lih Sa Representative E-mail _____
Address: 5888 Hialeah Dr. Fitchburg WI 53711

OFFICE USE ONLY:

\$ 100.00
Paid: \$ CK #1035
(check # or cash)
Date: 4-2-24
By: Barnum Bay - Mark Anderson

Comments / Conditions: To be reviewed by Plan Commission-
by rec. by zoning dept.

Approved by: _____
Denied by: _____

Date: _____
Date: _____

24

THE LURE RV RESORT & CAMPGROUND

18

**SNO-BANDITS
ARE COMING
JAN 13
BIG RAFFLE**



Rome Sno-Bandits
Ice Fishery & Raffle
Saturday, January 13th, 2024
Lure Bar & Grill
Top Cash Prize \$1,500
Based on 50% of total sales
Hosted by Rome Sno-Bandits - 100% of profits



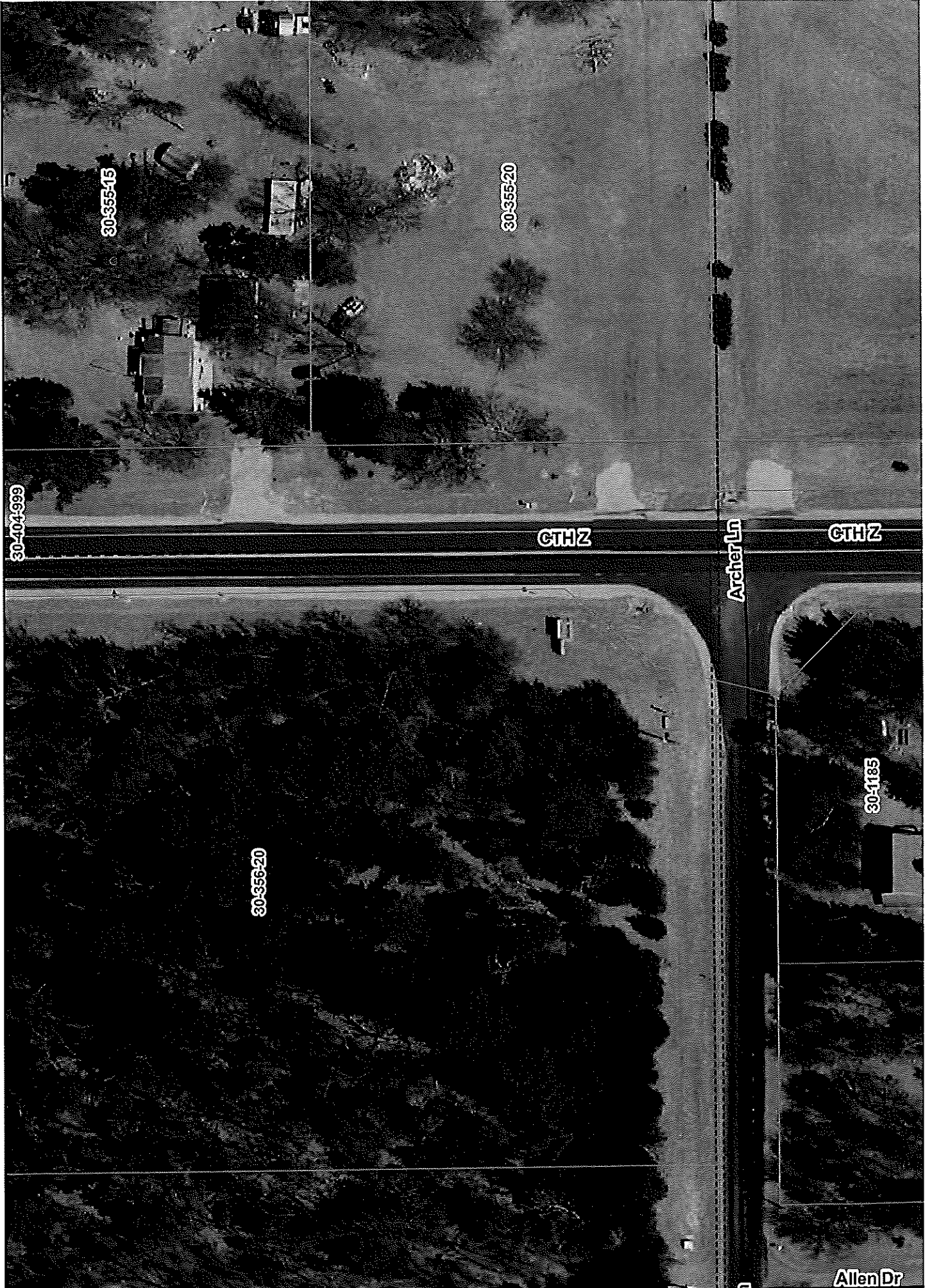
The Lure
BAR & GRILL
LAKE PETENWELL

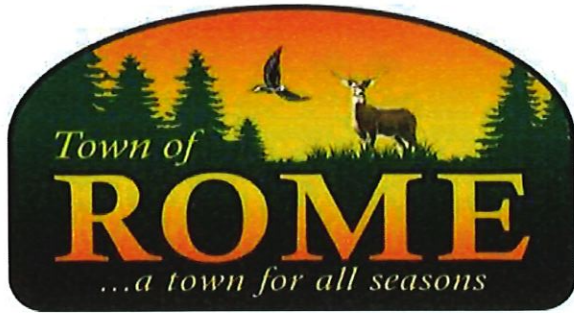
ATM


Barnum Bay Marina
Public Beach • Fuel Dock
Slip Rental • Pontoon Rental
PUBLIC WELCOME



Adams County Web Map





Date: 4/2/2024

Receipt # APR24 - 12

Received from: **BARNUM BAY ENTERPRISES, LLC**

Parcel #: **Outlot 1 (For Sign Easement) of Parcel #030-00356-0020**

Address:

	Permit #	Amount	Account #
For: Building Permit			100-14-44300-000
Zoning Permit			100-14-44400-000
State Seal			100-00-21103-000
Electrical Permit			100-14-44300-000
Driveway Permit			100-03-44900-000
Fire Number Sign			100-03-46220-100
Conditional Use			100-14-44900-000
STR License			100-00-44100-000
Room Tax License			100-00-44100-000
Business License			100-14-44100-000
Camping Permit			100-14-44900-000
Off Season Camping Permit			100-14-44900-000
Other	OFF-SITE SIGN PERMIT	100.00	100-14-44900-000

TOTAL PAID: \$ 100.00

CASH:

CHECK #: 1035

CREDIT CARD: